



**WHITEMARSH TOWNSHIP BOARD OF SUPERVISORS  
MEETING OF FEBRUARY 12, 2026 AT 6:30 PM**

**MANUELE \_\_\_ GRIFFIN-SHELLEY \_\_\_ MOY \_\_\_ TOLL \_\_\_ TURENNE \_\_\_**

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***Anyone unable to attend the meeting in-person will have the option to join the meeting virtually:***

***Through Zoom by clicking here: [BOS FEBRUARY 12, 2026](#)***

***with Meeting ID #: 883 8161 1342***

***By phone can dial: 1 305 224 1968***

**CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**ANNOUNCEMENTS**

Elizabeth Moy, Vice -Chair

**APPROVAL OF MINUTES:**

Meeting Minutes from January 5, 2026

**PUBLIC HEARINGS:**

**BOARD PUBLIC DISCUSSION ITEMS:**

Review 2026 Tax Millage Ordinance

Review amendments and additions to the "Open Burning" Ordinance for Whitemarsh Township for advertising

Review **SLD #01-25 REVISED** Land Development Waiver Request for Green Valley Country Club, 201 Ridge Pike, Lafayette Hill, PA for the following:

- Location and layout of proposed two (2) padel courts

**CONSIDER ACTION ITEMS:**

**ORDINANCES:**

Consider Ordinance # \_\_\_\_\_ 2026 Tax Millage totaling 2.3633 consistent with the approval of the 2026 Budget with no change from 2025.

Consider Authorizing the Advertisement of Ordinance # \_\_\_\_\_ : Amending the Open Burning provisions in Whitemarsh Township

**RESOLUTIONS:**

Consider Resolution #2026- \_\_\_ for **SLD #01-25** Green Valley Country Club for the new locations to install two new padel courts at 201 Ridge Pike, Lafayette Hill. The Applicant must comply with all conditions set



forth previously in Resolution #2025-10 along with the exceptions amended by this Resolution.

## **MOTIONS:**

Consider allocation of funds to Colonial Neighborhood Council in the amount of \$258.95 for their participation in the Township's MLK, Jr. Clothing Drive for 2026.

Consider Escrow Release #4 in the amount of \$156,419.17 for 561 Spring Mill Avenue – "The Transitions" (S/LD #02-21)

Consider Financial for January 2026: Expenditures (\$1,314,860.12), Payroll (\$818,650.61), Pension Plan Expenditure (\$2,899.63)

## **PUBLIC COMMENT PERIOD**

## **BOARD MEMBER COMMENTS**

## **ADJOURNMENT**

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### **PUBLIC PARTICIPATION INFORMATION**

1. Public meetings of the Board shall follow a prescribed agenda, which will be available to the general public two days preceding the meeting.
2. If members of the public wish the Board to address a specific item at a public meeting, a written request to the Township Manager shall be submitted by noon on Friday of the week before the meeting. The written request shall specify the item or items the individual desires to be addressed.
3. The Board may consider other matters for the agenda as they see fit.
4. The Board will entertain Public Comment at either the beginning of the meeting or prior to specific action items during the meeting, at the discretion of the Chair. Individuals must advise the Chair of their desire to offer such comment.
5. A Public Comment period will be provided at the conclusion of a meeting for input on any subject.
6. The Board Chair shall preside over Public Comments and may within their discretion:
  - a. Recognize individuals wishing to offer comment.
  - b. Require identification of such person.
  - c. Allocate total available Public Comment time among all individuals wishing to comment.
  - d. Allocate up to a Three (3) minute maximum for each individual to offer Public Comment at a meeting, Township Staff shall time comments and shall announce, "one minute remaining" and "time expired" to the Chair.
  - e. Rule out of order scandalous, impertinent and redundant comment or any comment the discernible purpose of which is to disrupt or prevent the conduct of the business of the meeting including the questioning of, or polling of, or debating with, individual members of the Board.

WHITEMARSH TOWNSHIP  
BOARD OF SUPERVISORS  
ANNUAL ORGANIZATIONAL MEETING  
PUBLIC MEETING MINUTES

JANUARY 5, 2026

The Annual Organizational Meeting of the Whitemarsh Township Board of Supervisors was held on Tuesday, January 5, 2026, at 8:00 PM, in the Whitemarsh Township Building, 616 Germantown Pike, Lafayette Hill, PA.

Supervisors Present: Jacy Toll, Vincent Manuele, Patrice Turenne, Elizabeth Moy and Megan Griffin- Shelley

Also Present: Craig T. McAnally, Jr., Township Manager, Charlie Guttenplan, Krista Heinrich

PLEDGE OF ALLEGIANCE

SELECTION OF TEMPORARY POSITIONS

On a Motion by Supervisor Moy seconded by Supervisor Turenne (Vote 5-0), Supervisor Manuele was appointed as the Temporary Chair for the Whitemarsh Township Board of Supervisors.

On a Motion by Supervisor Turenne, seconded by Supervisor Toll (Vote 5-0), Craig T. McAnally, Jr. was appointed as the Temporary Secretary of Whitemarsh Township.

ELECTIONS OF BOARD CHAIR AND VICE-CHAIR

On a Motion by Supervisor Turenne, seconded by Supervisor Griffin-Shelley (Vote 5-0) Supervisor Jacy Toll was elected Chair of the Board of Supervisors for Whitemarsh Township.

On a Motion by Supervisor Manuele, seconded by Supervisor Turenne (Vote 5-0), Supervisor Elizabeth Moy was elected Vice-Chair of the Board of Supervisors for Whitemarsh Township.

APPOINTMENTS

On a Motion by Supervisor Moy, seconded by Supervisor Manuele (Vote 5-0), Craig T. McAnally, Jr., was appointed Township Manager and Secretary by approving his employment agreement with the Whitemarsh Township.

On a Motion by Supervisor Turenne, seconded by Supervisor Moy (Vote 5-0), Angela Madle Long was appointed Finance Director and Treasurer of Whitemarsh Township.

On a motion by Supervisor Manuele, seconded by Supervisor Moy (Vote 5-0), Rachel Maxwell was appointed Assistant Secretary of Whitemarsh Township.

On a Motion by Supervisor Moy, seconded by Supervisor Turenne (Vote 5-0), Christopher P. Ward was appointed Chief of Police of Whitemarsh Township.

On a Motion by Supervisor Manuele, seconded by Supervisor Moy (Vote 5-0), Charles L. Guttenplan, AICP, was appointed Zoning Officer of Whitemarsh Township.

On a Motion by Supervisor Turenne, seconded by Supervisor Moy (Vote 5-0), Law Offices of Sean Kilkenny was appointed Solicitor for Whitemarsh Township.

On a Motion by Supervisor Manuele, seconded by Supervisor Moy (Vote 5-0), Gilmore and Associates was appointed Engineer for Whitemarsh Township.

On a Motion by Supervisor Moy, seconded by Supervisor Manuele (Vote 5-0), Craig T. McAnally, Jr. was appointed Right to Know Officer for Whitemarsh Township.

On a Motion by Supervisor Moy, seconded by Supervisor Manuele (Vote 5-0), John Fields was appointed Roadmaster for Whitemarsh Township.

On a Motion by Supervisor Moy seconded by Supervisor Turenne (Vote 5-0), Andrew Thomas was appointed Emergency Management Coordinator for Whitemarsh Township.

On a Motion by Supervisor Moy seconded by Supervisor Manuele (Vote 5-0), Gilmore and Associates was appointed Flood Plain Administrator for Whitemarsh Township.

On a Motion by Supervisor Moy, seconded by Supervisor Turenne (Vote 5-0), Angela Madle Long was appointed Tax Collection Committee Representative for Whitemarsh Township.

On a Motion by Supervisor Moy, seconded by Supervisor Manuele (Vote 5-0), Terri Simonetti was appointed Tax Collection Committee Representative for Whitemarsh Township.

On a Motion by Supervisor Moy, seconded by Supervisor Turenne (Vote 5-0), Jacy Toll was appointed Voting Delegate PSATS for Whitemarsh Township.

On a Motion by Supervisor Manuele, seconded by Supervisor Moy (Vote 5-0), the following Nominees were appointed to serve on the Vacancy Board for 2023:

- Johanna Wood (Supervisor Turenne’s Nominee)
- Laura Boyle Nester (Supervisor Manuele’s Nominee)
- Nicole Boyd (Supervisor Griffin-Shelley’s Nominee)
- Sara Erlbaum (Supervisor Toll’s Nominee)
- Salam Ibrahim (Supervisor Moy’s Nominee)

Various Board, Commission, and Committee Member Reappointments

On a motion by Supervisor Manuele, seconded by Supervisor Moy (Vote 5-0), the Board of Supervisors re-appointed the following individuals to the appropriate Boards and Commissions for the appropriate terms:

Name	Board or Commission	Term	Term Ending
James Tone	Zoning Hearing Board	5 Year	12/31/2030
Marc Weinstein	Zoning Hearing Board	5 Year	12/31/2030
Donald Norbeck	Planning Commission	4 Year	12/31/2029
Scott Quitel	Planning Commission	4 Year	12/31/2029
Natalie Borkowski	Shade Tree Commission	5 Year	12/31/2030
Vera Koabutski	Shade Tree Commission	5 Year	12/31/2030
Maghan Hector	Parks & Recreation Board	4 Year	12/31/2029

Timothy Ferris	Whitemarsh Township Authority	5 Year	12/31/2030
Diane Smith-Hoban	Library Board	3 Year	12/31/2028
Tom Higgins	Historical Architectural Review Board	4 Year	12/31/2029
Gerald Rafter	Historical Architectural Review Board	4 Year	12/31/2029
Christopher Lane	Open Space Committee	3 Year	12/31/2028
Beth Howard	Open Space Committee	3 Year	12/31/2028

On a Motion by Supervisor Moy, seconded by Supervisor Turenne (Vote 5-0), the Board of Supervisors accepted the resignations of:

- John Von Essen, HARB and
- Megan Griffin-Shelley MCAB

The Board would like to “Thank” Mr. Von Essen and Ms. Griffin-Shelley for their volunteer service to Whitemarsh Township.

ANNOUNCEMENTS - None

APPROVAL OF MINUTES - None

PUBLIC HEARINGS - None

BOARD PUBLIC DISCUSSION ITEMS - None

ORDINANCES - None

RESOLUTIONS

1. Establishing Board of Supervisor Meeting Schedule Format

On a Motion by Supervisor Moy, seconded by Supervisor Manuele (Vote 5-0), the Board of Supervisors adopted Resolution #2026-01, establishing the Board of Supervisor’s Meeting schedule and format for 2026, with a starting time of 6:30PM. Please note that the public comment time has changed from 5 minutes to 3 minutes.

2. Establishing Travel and Business Expense Policy

On a Motion by Supervisor Turenne, seconded by Supervisor Moy (Vote 5-0), the Board of Supervisors adopted Resolution #2026-02, establishing the Township Travel and Business Expense Policy for 2026.

3. Establishing Holidays for Non-Uniformed, Non-Union Township Employees

On a Motion by Supervisor Turenne, seconded by Supervisor Manuele (Vote 5-0), the Board of Supervisors adopted Resolution #2026-03, establishing the Township Holiday’s for Non-Uniformed, Non-Union Employees in 2026.

4. Annual Emergency Operation Plan Promulgation

On a motion by Supervisor Moy, seconded by Supervisor Manuel (Vote 5-0) the Board of Supervisors adopted Resolution #2026-04 approving the 2026 Annual Emergency Operation Plan Promulgation for Whitemarsh Township

5. Authorization to pay disbursements

On a motion by Supervisor Moy, seconded by Supervisor Turenne (Vote 5-0) the Board of Supervisors adopted Resolution #2026-05 approving the 2026 Authorization to pay disbursements for Whitemarsh Township

MOTIONS

1. Selection of Bank Depositories

On a Motion by Supervisor Moy, seconded by Supervisor Turenne (Vote 5-0), the Board of Supervisors approved the list of financial institutions as Bank Depositories as provided in the memo from the Finance Director.

4. Selection of Auditing Services

On a Motion by Supervisor Moy, seconded by Supervisor Manuele (Vote 5-0), the Board of Supervisors approved Zelenkofske Axelrod LLC to audit the Township Financial Statements.

PUBLIC COMMENT - None

BOARD MEMBER COMMENTS - None

EXECUTIVE SESSION

ADJOURNMENT

On a Motion by Supervisor Moy seconded by Supervisor Manuele the Board of Supervisors Annual Organizational Meeting for January 5, 2026 was adjourned at 8:15 PM.

Respectfully Submitted,

Craig T. McAnally, Jr.  
Township Manager

## **NOTICE**

**NOTICE IS HEREBY GIVEN** that at the regular meeting of the Board of Supervisors of **Whitemarsh Township**, Montgomery County, Pennsylvania, to be held on Thursday February 12, 2026, at the Township Building, 616 Germantown Pike, Lafayette Hill, PA 19444, at 6:30 PM, the Board of Supervisors will consider, and if appropriate, enact, an ordinance, the title and a summary of which are as follows:

### **AN ORDINANCE OF THE TOWNSHIP OF WHITEMARSH, A HOME RULE MUNICIPALITY OF THE COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, FIXING THE TAX RATE FOR ALL REAL PROPERTY WITHIN WHITEMARSH TOWNSHIP FOR THE YEAR 2026**

If enacted, the ordinance will establish the tax millage rate on real property in Whitemarsh Township for 2006 as follows: General Fund: 1.3705 mills; Library: 0.2099 mills; Fire: 0.4869 mills; and Park & Recreation: 0.2960 mills for a total of 2.3633 mills.

A copy of the proposed ordinance is available for inspection and copying at the Whitemarsh Township Building, 616 Germantown Pike, Lafayette Hill, PA 19444, the offices of this newspaper, and the Montgomery County Law Library all during regular business hours.

Persons with a disability who wish to attend the hearing and require an auxiliary aid, service or other accommodation to participate in the hearing should contact Whitemarsh Township at (610) 825-3535.

Craig McAnally, Township Manager  
616 Germantown Pike  
Lafayette Hill, PA 19444  
610-825-3535

**ORDINANCE # 1051  
WHITEMARSH TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**AN ORDINANCE OF THE TOWNSHIP OF WHITEMARSH, A HOME RULE MUNICIPALITY OF THE COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, FIXING THE TAX RATE FOR ALL REAL PROPERTY WITHIN WHITEMARSH TOWNSHIP FOR THE YEAR 2026.**

**BE IT ORDAINED AND ENACTED**, and it is hereby ordained and enacted, by the Board of Supervisors of Whitemarsh Township, that a tax be and the same is hereby levied on all real property within Whitemarsh Township as follows:

<b>PURPOSE</b>	<b>MILLAGE</b>
General Fund:	1.3705
Library:	0.2099
Fire:	0.4869
<b>Sub-Total</b>	<hr/> 2.0673
Park & Recreation	0.2960
<b>Total</b>	<hr/> <b>2.3633</b>

*ORDAINED AND ENACTED*, this \_\_\_\_ day of December, 2025.

**ATTEST:**

**WHITEMARSH TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
**Craig T. McAnally  
SECRETARY**

\_\_\_\_\_  
**Jacy Toll  
CHAIR, BOARD OF SUPERVISORS**

**WHITEMARSH TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF WHITEMARSH TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, AMENDING THE "OPEN BURNING" PROVISIONS OF THE CODE OF ORDINANCES OF WHITEMARSH TOWNSHIP TO ADD REGULATIONS GOVERNING THE USE OF FIRE PITS, FIRE BOWLS, AND CHIMINEAS IN WHITEMARSH TOWNSHIP; REPEALING ALL INCONSISTENT ORDINANCES OR PARTS THEREOF; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the Board of Supervisors of Whitemarsh Township has enacted the Code of Ordinance of Whitemarsh Township which contains, inter alia, provisions governing open burning in Whitemarsh Township, and specifically governing the use of fire pits, fire bowls, and chimineas; and

**WHEREAS**, the Township Fire Marshall has recommended to the Board of Supervisors that additional regulations be added governing the use of fire pits, fire bowls, and chimineas in Whitemarsh Township to better protect the health, safety, and welfare of the residents of Whitemarsh Township and the general public; and

**WHEREAS**, the Board of Supervisors has determined that it is in the best interests of the health, safety, and welfare of the residents of Whitemarsh Township and the general public to amend the current regulations governing the use of fire pits, fire bowls, and chimineas in Whitemarsh Township to add the safety provisions recommended by the Township Fire Marshal;

**NOW, THEREFORE**, be it **ORDAINED** by the Board of Supervisors of Whitemarsh Township, and it is hereby **ENACTED** and **ORDAINED** by authority of same as follows:

I. Section 75-2.C. of the Code of Ordinances of Whitemarsh Township is amended to read as follows, with newly added language in bold:

"C. Fire pits, fire bowls, and chimineas may be used without Fire Marshal approval provided these are used in accordance with the manufacturer's safety guidelines and the following regulations:

**(1) Fire pits, fire bowls, and chimineas shall be at least 15 feet from a structure, including decks and balconies. They shall not be stored within 15 feet of any combustible waste, material, or building surface. Their placement shall be stable and reasonably level so as to make tipping unlikely. They shall not be used on a deck, within any tent, or on or under any roof.**

(2) Yard debris and trash shall not be burned, including leaves.

(3) Open burning is prohibited when the following weather-related hazards are present:

(a) If sustained winds are 10 m.p.h. or greater; or gusts are 20 m.p.h. or greater.

(b) A burn ban has been put in place by PA Department of Conservation & Natural Resources.

(c) A "Red Flag" day declared by the National Weather Service.

(4) The Fire Marshal, fire officers, and police officers can order any open burn extinguished if they deem it unsafe or a nuisance.

(5) Open burning shall be 50 feet from structures and combustibles with the following exceptions:

(a) Open burning with a burn pile three feet or less in diameter and two feet or less in height can be 25 feet from structures and combustibles.

(b) Open burning in approved containers, such as listed manufactured fire pits from home improvement stores, can be 15 feet from structures and combustibles.

(c) Burn barrels or other homemade containers are not allowed.

**(6) The use of charcoal grills, cookers, barbecues, or other devices utilizing charcoal or other ignitable material for the purpose of cooking, barbecuing, or otherwise preparing food out-of-doors shall be prohibited except at ground level and shall in no event be utilized closer than fifteen (15) feet to any multiple occupancy dwelling.**

(7) All open burning must constantly be attended by an adult and have a means to extinguish it, such as a garden hose, bucket of water, loose sand/dirt, or an adequately sized fire extinguisher.”

II. All ordinances or parts thereof inconsistent with this Ordinance are hereby repealed to the extent of the inconsistency.

III. The provision of this Ordinance are declared to be severable. If any provision of this Ordinance is declared by a court of competent jurisdiction to be invalid or unconstitutional, such determination shall have no effect on the remaining provisions of this Ordinance or on the provisions of the Code of Ordinances or Whitmarsh Township.

IV. This Ordinance shall become effective on the day following its legal enactment.

**ENACTED** and **ORDAINED** this 12<sup>th</sup> day of March, 2026.

**ATTEST:**

**BOARD OF SUPERVISORS OF  
WHITEMARSH TOWNSHIP**

\_\_\_\_\_  
Craig McAnally, Secretary

\_\_\_\_\_  
Jacy Toll, Chair

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**WHITEMARSH TOWNSHIP**

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**TO:** BOARD OF SUPERVISORS

**FROM:** Charles L. Guttenplan, AICP, Director of Planning and Zoning 

**SUBJECT:** SLD # 01-25, AMENDED LAND DEVELOPMENT WAIVER REQUEST FOR GREEN VALLY COUNTRY CLUB

**DATE:** FEBRUARY 5, 2026

**CC:** Craig T. McAnally, Township Manager  
Sean P. Kilkenny, Esq., Township Solicitor

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There is a discussion listed on your agenda for SLD #01-25, application of Green Valley Country Club (201 Ridge Pike) for a Land Development Waiver Request. This is an amended application for a relocated (new) pole barn and two padel courts. You will recall that the Board of Supervisors conditionally approved the original Land Development Waiver Request in April 2025. Since then, the padel court location has changed to replace one of the Club's tennis courts (the pole barn location is unchanged); the proposed courts were originally in a location adjacent to the four tennis courts. (The previously approved plan is included in the packet for reference.) As a result of the change, it is before the Board for an amended request for approval of a land development waiver. In your packet, along with the application and plans (previous and current), there is an updated recommendation from the Township Engineer and an updated zoning compliance letter.

Should the Board wish to take action on this proposal, a draft resolution is also in your packet.

If the Board has any questions, I will be happy to answer them.

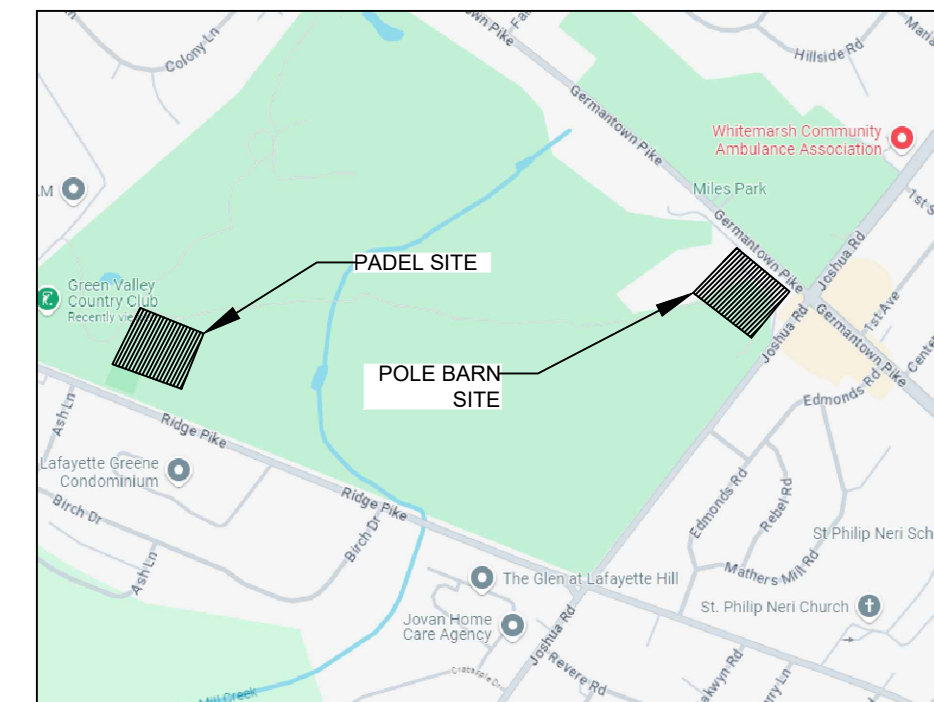
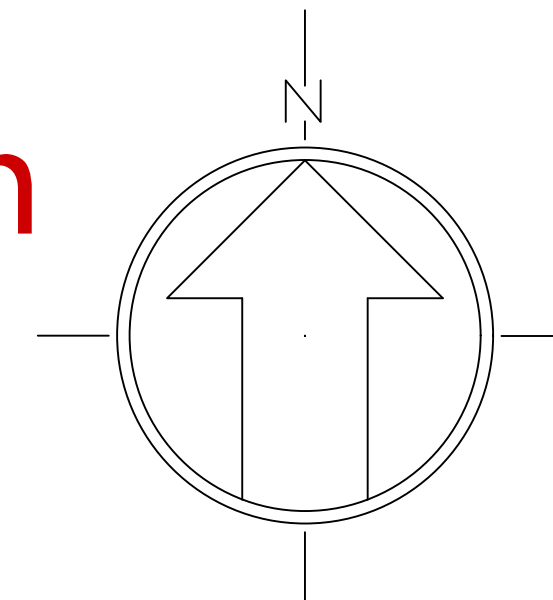
Attachments

**Charles L. Guttenplan, AICP**  
**Director of Planning and Zoning/Zoning Officer**  
616 Germantown Pike Lafayette Hill, PA 19444  
Phone: 484-594-2625  
Fax: 610-825-6252  
Email: cguttenplan@whitemarshtwp.org

**General Notes:**

- Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
- This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
- This Plan was prepared in accordance with the instructions of the Client.
- This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
- Future development of this property is subject to all rules, regulations, codes and ordinances of the Whitemarsh Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
- Attention is called to the Whitemarsh Township Zoning Code as amended.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property.
- The subject property shown hereon may be traversed by various underground utilities and pipes. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number 20243051347 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information is to be verified via a field markout and is subject to the findings that the markout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
- This property has access to Germantown Pike as shown hereon and is a public roadway.
- The permanent removal of topsoil from land within the Township is prohibited.

# Previously Approved Plan



**Location Map**  
Scale: 1" = 1000'

**Legend**

	Property Line
	Existing Building
	Existing Building TBR
	Existing Asphalt Paving
	Existing Asphalt Paving TBR
	Existing Wall
	Existing Concrete
	Existing Fence
	Existing Fence TBR
	Existing Contour
	Existing Index Contour
	Existing Spot Grade
	Existing Sign
	Existing Light Pole
	Existing Utility Pole
	Existing Utility Valve
	Existing Manhole
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree

**SITE DATA:**

Address: 201 RIDGE PIKE  
LAFAYETTE HILL, PA. 19444  
Zoned: A-RESIDENTIAL DISTRICT  
(RECREATION DISTRICT OVERLAY)  
Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**OWNER/ APPLICANT:**

GREEN VALLEY COUNTRY CLUB  
201 RIDGE PIKE  
LAFAYETTE HILL, PA. 19444

**PARCEL INFORMATION:**

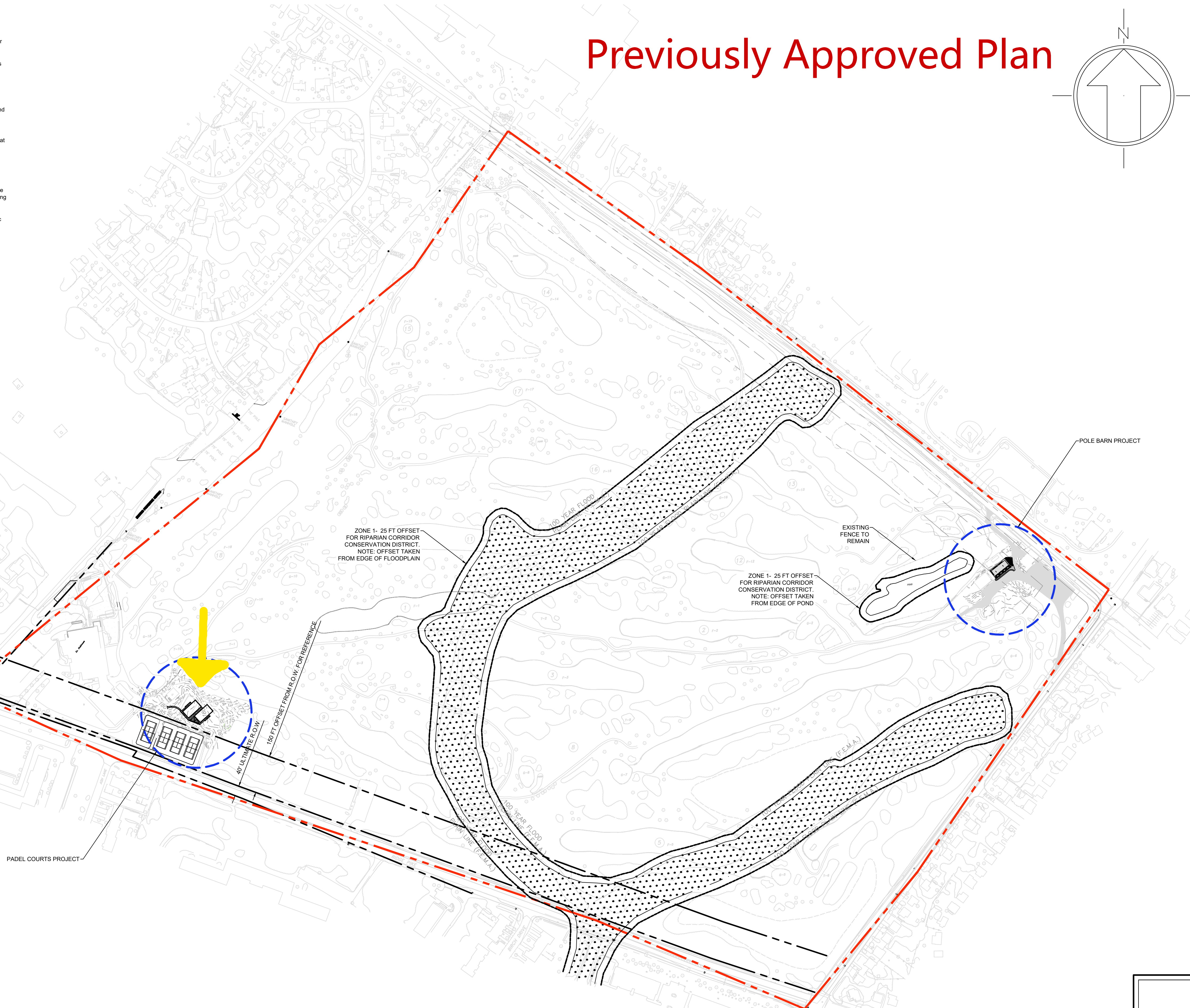
Parcel ID: 65-00-09754-00-9

**ZONING DATA:**

<b>A-RESIDENTIAL DISTRICT:</b>	
LOT AREA MIN.	REQUIRED: 15,000 SF
FRONT YARD MIN.	40'
SIDE YARD MIN.	15'; AGGR. 40'
REAR YARD MIN.	40'
LOT WIDTH MIN.	30'
BLDG. HEIGHT MAX.	PRINCIPLE = 35' / ACCESSORY = 20'
BLDG. COVERAGE MAX.	20%

**NOTES:**

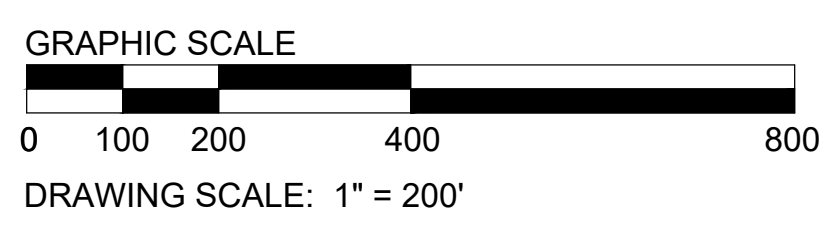
- SEE ZONING INFORMATION ON INDIVIDUAL PADEL AND POLE BARN PLANS FOR ZONING COMPLIANCE INFORMATION
- THE ZONING HEARING BOARD IN ZHB #2024-33 GRANTED A VARIANCE FROM THE FRONT YARD SETBACK REQUIREMENT (ON AUG 7, 2024) SINCE THE PROPOSED POLE BARN IS CLOSER THAN 150' TO GERMANTOWN PIKE
- RECREATIONAL DISTRICT OVERLAY DISTRICT GOVERNS THE PROPOSED DEVELOPMENT
- THE RIPARIAN CORRIDOR CONSERVATION DISTRICT SHALL SERVE AS A SUPPLEMENT TO THE UNDERLYING DISTRICT PROVISIONS. FOR WETLANDS AND WATER BODIES, ZONE 1 SHALL BE A MINIMUM WIDTH OF 25 FEET FROM THE OUTER EDGE OF THE WETLAND OR WATER BODY, MEASURED PERPENDICULAR TO THE EDGE AND ZONE 2 DOES NOT APPLY.



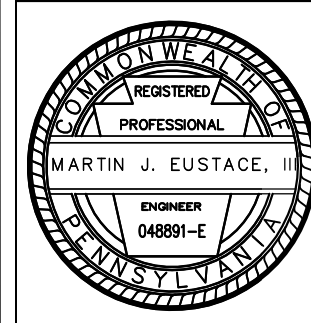
Serial Number: 20243051347

**Act 287**  
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
MARTIN EUSTACE, ON THIS DATE *Martin Eustace* 1/17/25, HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58 "GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES"



**Overall Location Map- Padel & Pole Barn**  
**GREEN VALLEY COUNTRY CLUB**  
**POLE BARN**  
201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP



**EUSTACE**  
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS  
MARTIN J. EUSTACE, III  
307 Easton Road  
Building B - 2nd Floor  
Willow Grove, PA 19090  
Tel: (215) 348-8757  
Fax: (215) 348-8759  
www.eustaceeng.com  
*Martin J. Eustace, III, P.E.*  
PA Lic. PE048891E

DRAWN BY: DSC  
CHECKED BY: MJE  
DATE: 3-18-2025  
DRAWING No.: D 2443-03 7

X:\PROJECTS\2400 - 24690\243\03 - Green Valley Country Club Pole Barn\DRAWINGS\Land Development\05 c-Overall Location MapB.dwg March 10, 2025



Fees and plans showing all public improvements are submitted with this application. Any additional plan information required by the Township Engineer will be submitted to the Director of Planning and Zoning for distribution. The undersigned applicant agrees to comply with all the provisions of Chapter 105 of the Code of the Township of Whitmarsh, as amended, and agrees to obtain all necessary permits in connection with the proposed subdivision and/or land development.

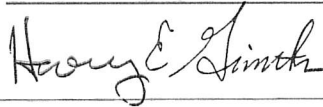
Whitmarsh Township employees, or township-authorized agents, are hereby granted permission to enter upon the land, if necessary, for site inspections.

Original preliminary and/or original final subdivision and/or land development applications submitted by 4:00pm on the last business day of the month will be reviewed by the Whitmarsh Township Planning Commission at a regular meeting two (2) months following the date of submission or other appropriate meeting date depending upon the results of Township reviews.

I hereby certify, as the undersigned applicant, that I am familiar with the provisions of: [1] Chapter 105, "Subdivision and Land Development", [2] Chapter 58, "Grading, Erosion Control, Stormwater Management and Best Management Practices", and [3] Chapter 55, "Tree Protection Standards" of the Code of the Township of Whitmarsh, as amended, and, to the best of my knowledge and belief, this application and the submitted plans conform to those provisions.

**Date of Submission:** 9/12/25

Signature:



(Original Signature must be submitted)

**Printed Name:** Harry Ginther

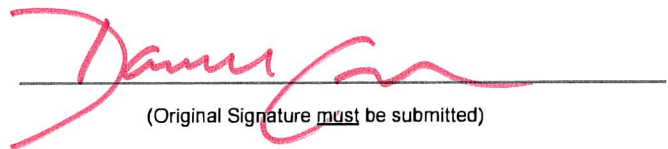
I, **(name)** Darrell Campana **(title)** Project Manager of

**(entity submitting application)** Eustace Engineering do hereby affirm

that I am authorized by the applicant to affix my signature to this application.

**Date:** 9/12/25

**Signature:**



(Original Signature must be submitted)

Superseded Plans  
(reviews based on these plans)

**LAND DEVELOPMENT PLANS**  
**GREEN VALLEY COUNTRY CLUB - PADEL COURTS**  
**201 RIDGE PIKE, LAFAYETTE HILL, PA- WHITEMARSH TOWNSHIP**

*prepared for*  
**GREEN VALLEY COUNTRY CLUB**

*prepared by*



607 Easton Road  
Building B - 2nd Floor  
Willow Grove, PA 19090

Tel: (215) 346-8757  
Fax: (215) 346-8759  
www.eustaceeng.com

PLAN INDEX

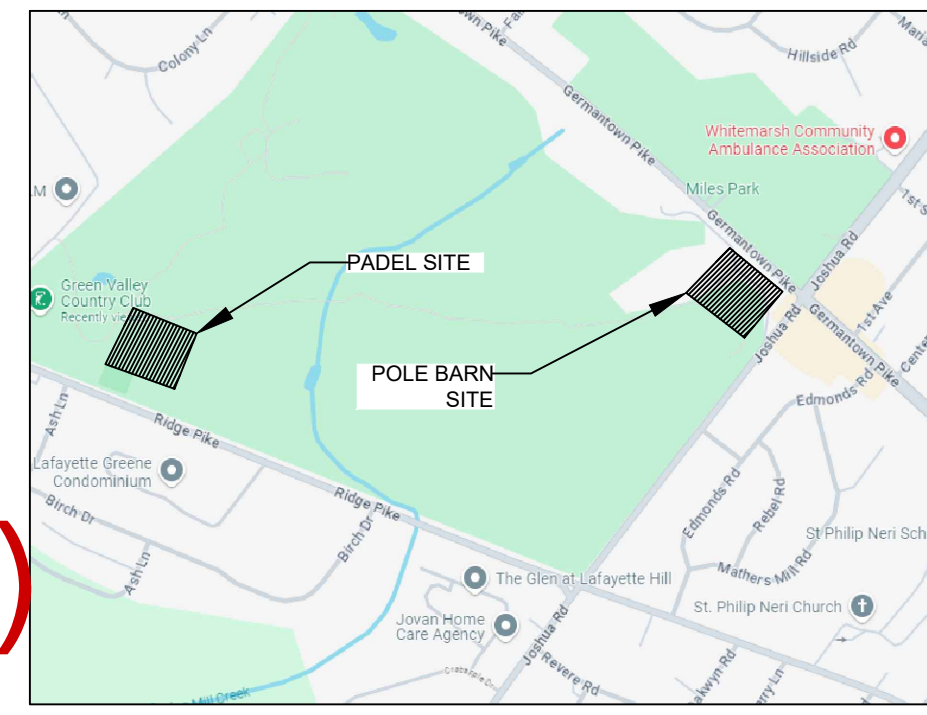
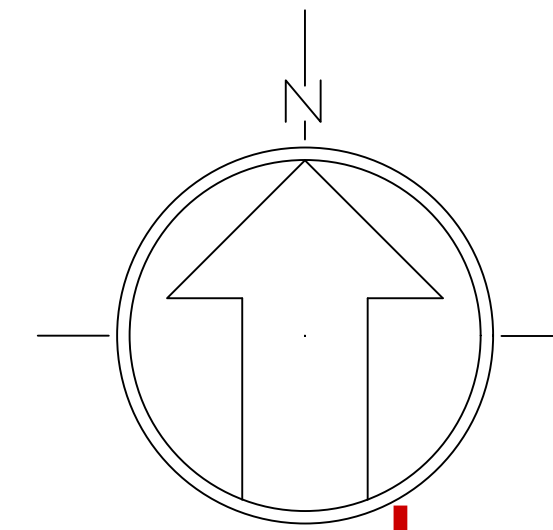
DRAWING NO.	SHEET NO.	NAME	DATE	LAST REVISED
D 2443 04 00	0 OF 10	COVER SHEET	04-11-25	09-12-25
D 2443 04 01	1 OF 10	OVERALL LOCATION MAP- PADEL & POLE BARN	04-11-25	09-12-25
D 2443 04 01	2 OF 10	OVERALL EXISTING CONDITIONS PLAN	04-11-25	09-12-25
D 2443 04 02	3 OF 10	EXISTING CONDITIONS & DEMOLITION PLAN	04-11-25	09-12-25
D 2443 04 03	4 OF 10	GRADING & UTILITIES PLAN	04-11-25	09-12-25
D 2443 04 04	5 OF 10	LAYOUT & MATERIALS PLAN	04-11-25	09-12-25
D 2443 04 05	6 OF 10	EROSION & SEDIMENT CONTROL PLAN	04-11-25	09-12-25
D 2443 04 06	7 OF 10	EROSION & SEDIMENT CONTROL DETAILS	04-11-25	09-12-25
D 2443 04 07	8 OF 10	LANDSCAPE PLAN	04-11-25	09-12-25
D 2443 04 08	9 OF 10	LANDSCAPE NOTES & DETAILS	04-11-25	09-12-25
D 2443 04 09	10 OF 10	CONSTRUCTION DETAILS	04-11-25	09-12-25

PROJECT NO. 2443-04

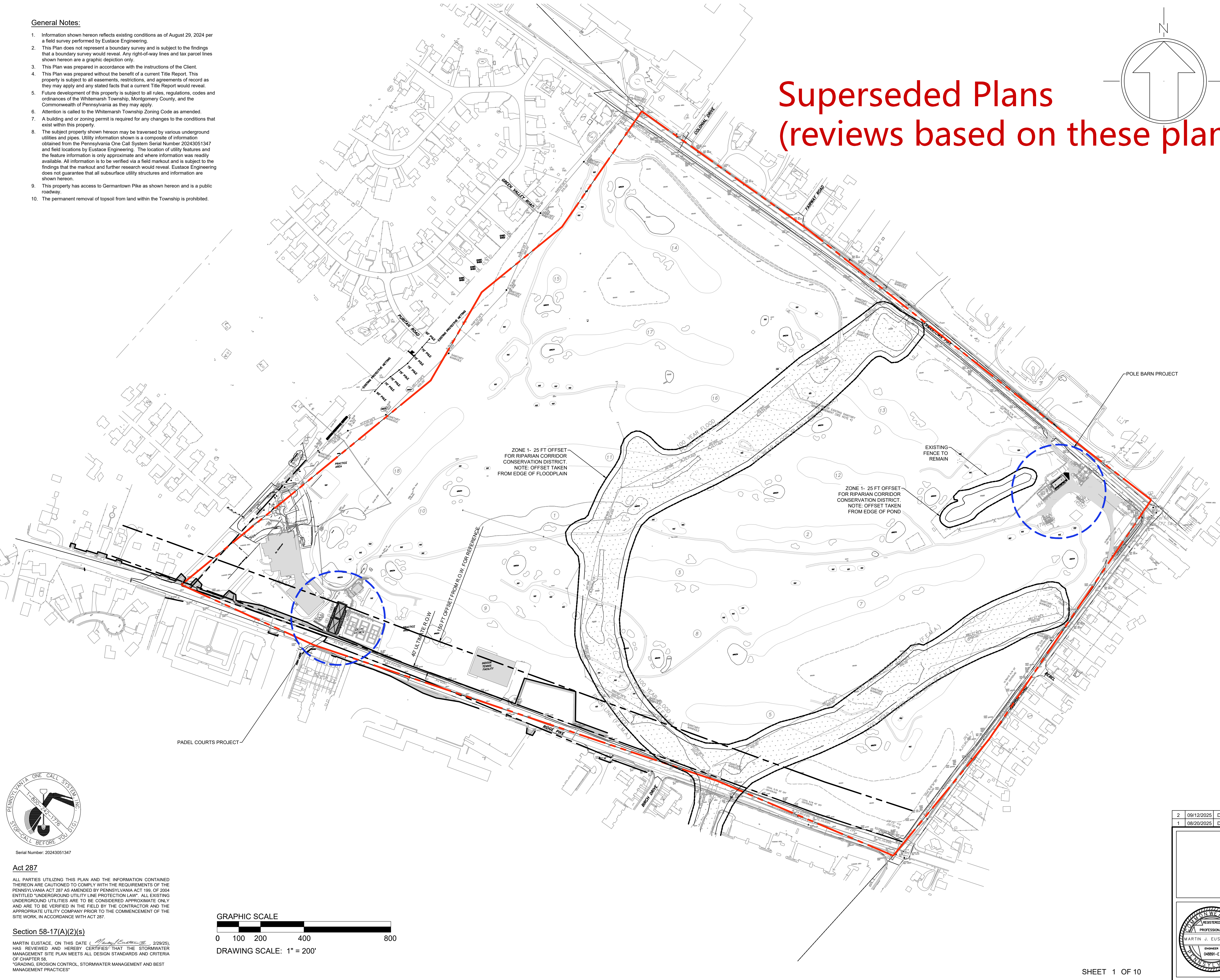
**General Notes:**

- Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
- This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
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- This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
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- This property has access to Germantown Pike as shown hereon and is a public roadway.
- The permanent removal of topsoil from land within the Township is prohibited.

# Superseded Plans (reviews based on these plans)



**Location Map**  
Scale: 1" = 1000'



**Legend**

- Property Line
- Existing Building
- Existing Building TBR
- Existing Asphalt Paving
- Existing Asphalt Paving TBR
- Existing Wall
- Existing Concrete
- Existing Fence
- Existing Fence TBR
- Existing Contour
- Existing Index Contour
- Existing Spot Grade
- Existing Sign
- Existing Light Pole
- Existing Utility Pole
- Existing Utility Valve
- Existing Manhole
- Existing Trenchline
- Existing Evergreen Tree and Deciduous Tree

**SITE DATA:**

Address: 201 RIDGE PIKE  
LAFAYETTE HILL, PA. 19444  
Zoned: A-RESIDENTIAL DISTRICT  
(RECREATION DISTRICT OVERLAY)  
Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**OWNER/APPLICANT:**

GREEN VALLEY COUNTRY CLUB  
201 RIDGE PIKE  
LAFAYETTE HILL, PA. 19444

**PARCEL INFORMATION:**

Parcel ID: 65-00-09754-00-9

**ZONING DATA:**

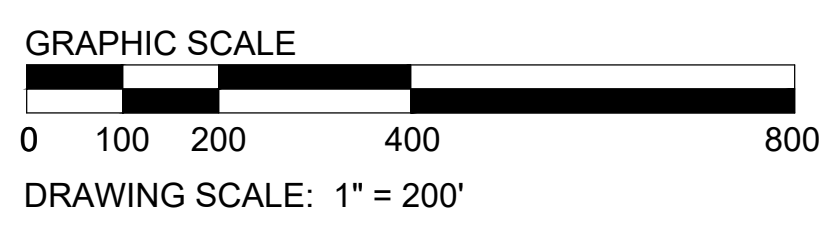
A-RESIDENTIAL DISTRICT:		REQUIRED:
LOT AREA MIN.	15,000 SF	
FRONT YARD MIN.	40'	
SIDE YARD MIN.	15'; AGGR. 40'	
REAR YARD MIN.	40'	
LOT WIDTH MIN.	30'	
BLDG. HEIGHT MAX.	PRINCIPLE = 35' / ACCESSORY = 20'	
BLDG. COVERAGE MAX.	20%	

**NOTES:**

- SEE ZONING INFORMATION ON INDIVIDUAL PADEL AND POLE BARN PLANS FOR ZONING COMPLIANCE INFORMATION
- THE ZONING HEARING BOARD IN ZHB #2024-33 GRANTED A VARIANCE FROM THE FRONT YARD SETBACK REQUIREMENT (ON AUG 7, 2024) SINCE THE PROPOSED POLE BARN IS CLOSER THAN 150' TO GERMANTOWN PIKE
- RECREATIONAL DISTRICT OVERLAY DISTRICT GOVERNS THE PROPOSED DEVELOPMENT
- THE RIPARIAN CORRIDOR CONSERVATION DISTRICT SHALL SERVE AS A SUPPLEMENT TO THE UNDERLYING DISTRICT PROVISIONS. FOR WETLANDS AND WATER BODIES, ZONE 1 SHALL BE A MINIMUM WIDTH OF 25 FEET FROM THE OUTER EDGE OF THE WETLAND OR WATER BODY, MEASURED PERPENDICULAR TO THE EDGE AND ZONE 2 DOES NOT APPLY.



**Act 287**  
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.



**Section 58-17(A)(2)(s)**  
MARTIN EUSTACE, ON THIS DATE (09/12/2025), HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58.  
"GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES"

2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Overall Location Map- Padel & Pole Barn**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

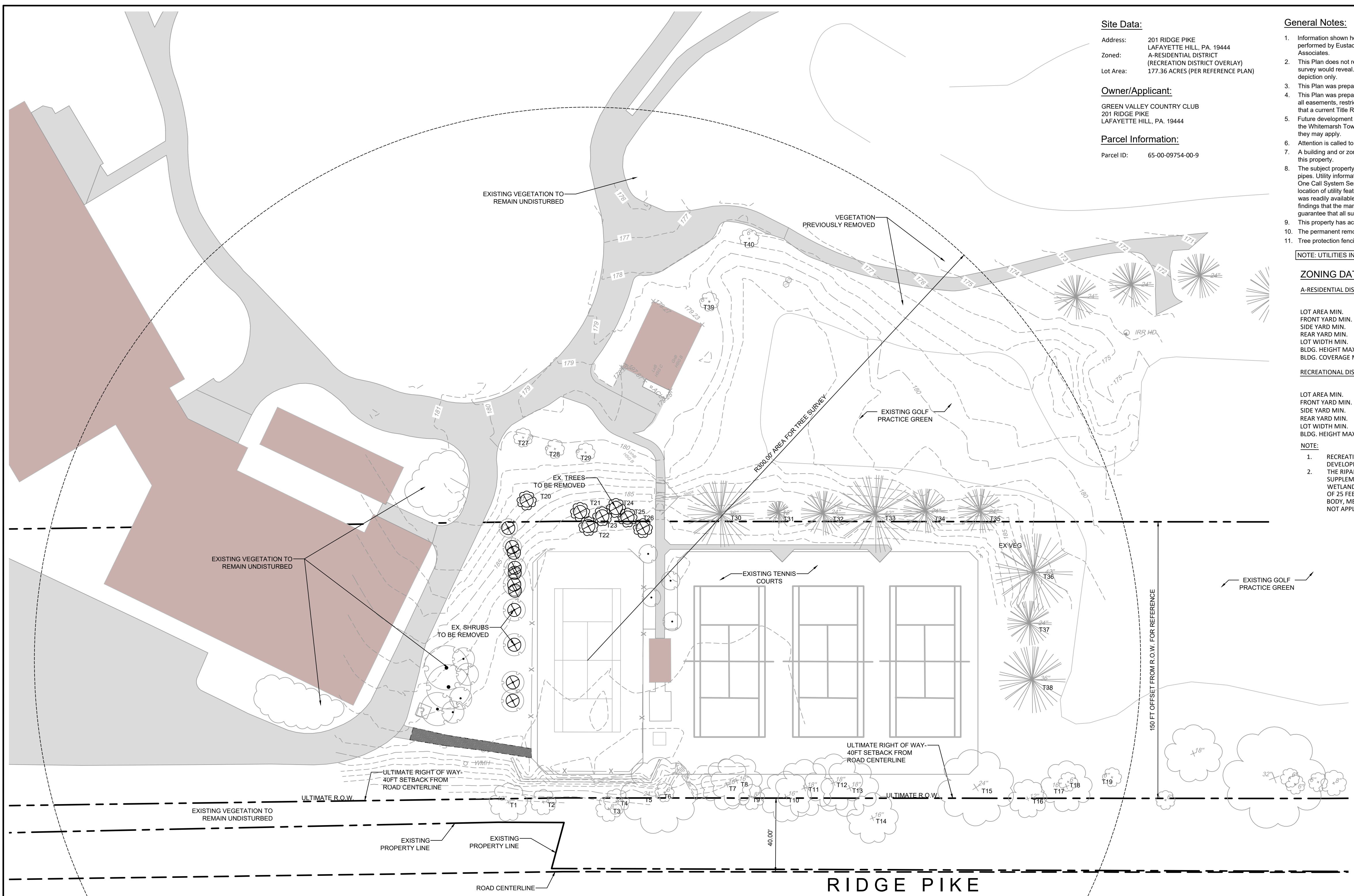
**MARTIN J. EUSTACE, III, P.E.**  
PA Lic. PE048891E

807 Easton Road  
Building B - 2nd Floor  
Willow Grove, PA 19090  
Tel: (215) 348-8757  
Fax: (215) 348-8759  
www.eustaceeng.com

**DRAWN BY:** DSC  
**CHECKED BY:** MJE  
**DATE:** 04-18-2025  
**DRAWING No.:** D 2443-03 7

X:\PROJECTS\2400 - 24690\243104 - Green Valley Country Club Padel\DRAWINGS\Land Development\09 d-Overall Location Map.dwg, September 9, 2025

X:\PROJECTS\2400 - 24699\243\04 - Green Valley Country Club Padel Ball\DRAWINGS\Land Development\01 - Existing conditions plan.dwg September 11, 2025

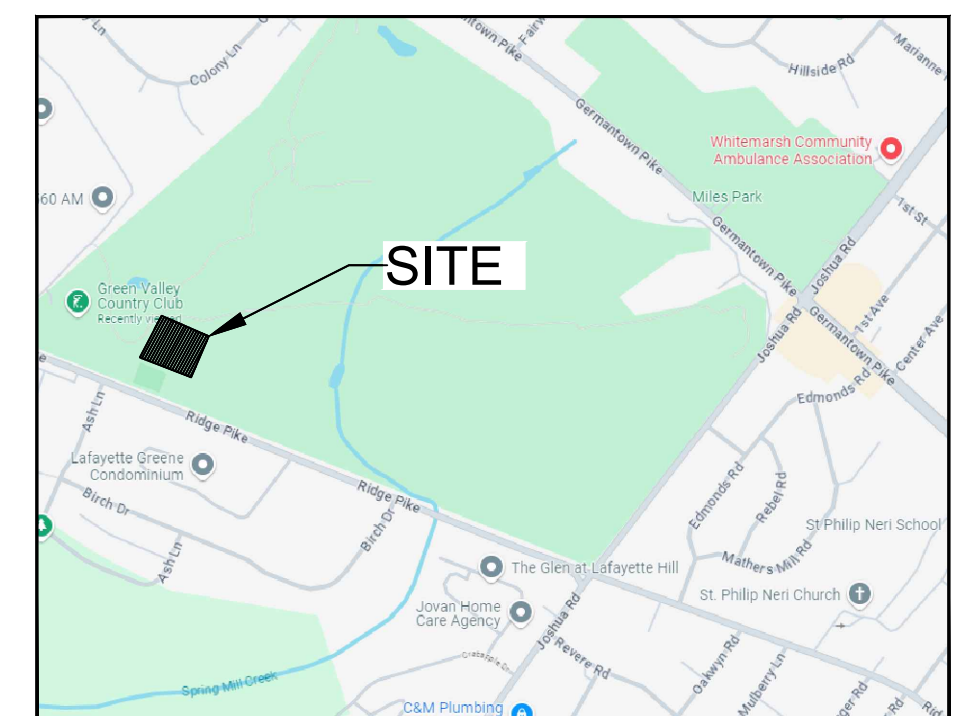


**Site Data:**  
Address: 201 RIDGE PIKE  
LAFAYETTE HILL, PA. 19444  
Zoned: A-RESIDENTIAL DISTRICT  
(RECREATION DISTRICT OVERLAY)  
177.36 ACRES (PER REFERENCE PLAN)  
**Owner/Applicant:**  
GREEN VALLEY COUNTRY CLUB  
201 RIDGE PIKE  
LAFAYETTE HILL, PA. 19444  
**Parcel Information:**  
Parcel ID: 65-00-09754-00-9

**General Notes:**  
1. Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering and supplemental Lidar information from Chambers and Associates.  
2. This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.  
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10. The permanent removal of topsoil from land within the Township is prohibited.  
11. Tree protection fencing must be installed prior to the start of any work product.

**ZONING DATA:**  
**A-RESIDENTIAL DISTRICT:**  
REQUIRED: 15,000 SF  
FRONT YARD MIN. 40'  
SIDE YARD MIN. 15'; AGGR. 40'  
REAR YARD MIN. 40'  
LOT WIDTH MIN. 90'  
BLDG. HEIGHT MAX. PRINCIPLE = 35' / ACCESSORY = 20'  
BLDG. COVERAGE MAX. 20%  
**RECREATIONAL DISTRICT OVERLAY SECTION 116-177:**  
REQUIRED: 60 AC  
FRONT YARD MIN. 150'  
SIDE YARD MIN. 100'  
REAR YARD MIN. 100'  
LOT WIDTH MIN. 500'  
BLDG. HEIGHT MAX. 40'  
EXISTING: 177.36 AC  
PROVIDED: 177.36 AC  
N/A  
N/A  
N/A  
3,388'  
N/A

**NOTE:**  
1. RECREATIONAL DISTRICT OVERLAY DISTRICT GOVERNS THE PROPOSED DEVELOPMENT.  
2. THE RIPARIAN CORRIDOR CONSERVATION DISTRICT SHALL SERVE AS A SUPPLEMENT TO THE UNDERLYING DISTRICT PROVISIONS. FOR WETLANDS AND WATER BODIES, ZONE 1 SHALL BE A MINIMUM WIDTH OF 25 FEET FROM THE OUTER EDGE OF THE WETLAND OR WATER BODY, MEASURED PERPENDICULAR TO THE EDGE AND ZONE 2 DOES NOT APPLY. SEE OVERALL LOCATION MAP.



**Location Map**  
Scale: 1" = 1000'

**Legend**

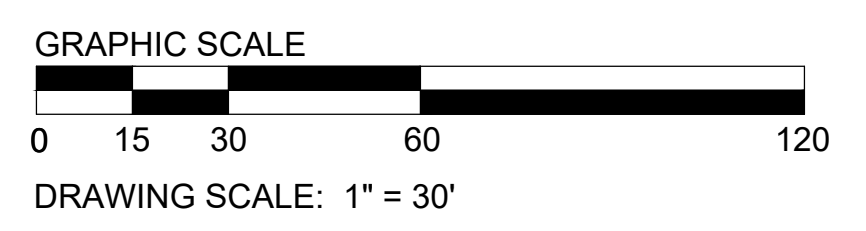
	Property Line
	Right-of-Way Line
	Setback Line
	Existing Building
	Existing Asphalt Paving
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Spot Grade
	Existing Sign
	Existing Light Pole
	Existing Utility Pole
	Existing Utility Valve
	Existing Manhole
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree
	Existing Shrub
	Existing Storm Line

**RIDGE PIKE**



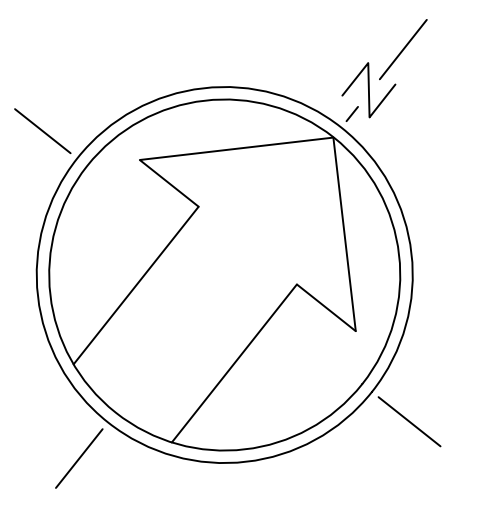
**Act 287**  
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
MARTIN EUSTACE, ON THIS DATE 08/29/2025, HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58.  
"GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES"



**Existing Tree Inventory**

No.	Size (in.)	Notes	No.	Size (in.)	Notes	No.	Size (in.)	Notes
1	12	To Remain	19	6	To Remain	37	24	To Remain
2	8	To Remain	20	6	TER	38	36	To Remain
3	8	To Remain	21	6	TER	39	6	To Remain
4	8	To Remain	22	6	TER	40	6	To Remain
5	24	To Remain	23	6	TER			
6	6	To Remain	24	6	TER			
7	16	To Remain	25	6	TER			
8	16	To Remain	26	6	TER			
9	8	To Remain	27	6	To Remain			
10	16	To Remain	28	6	To Remain			
11	18	To Remain	29	6	To Remain			
12	18	To Remain	30	36	To Remain			
13	18	To Remain	31	12	To Remain			
14	16	To Remain	32	24	To Remain			
15	24	To Remain	33	42	To Remain			
16	12	To Remain	34	24	To Remain			
17	16	To Remain	35	24	To Remain			
18	6	To Remain	36	42	To Remain			



2 09/12/2025 DSC LAND DEVELOPMENT RESUBMISSION  
1 08/20/2025 DSC LAND DEVELOPMENT RESUBMISSION

**Overall Ex Conditions Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

**EUSTACE**  
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

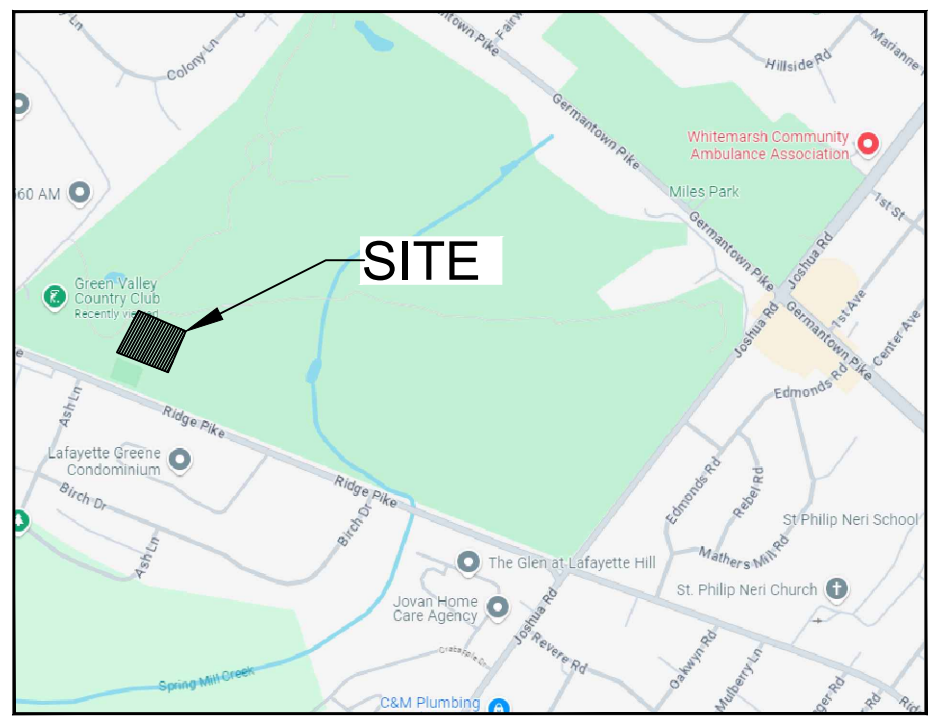
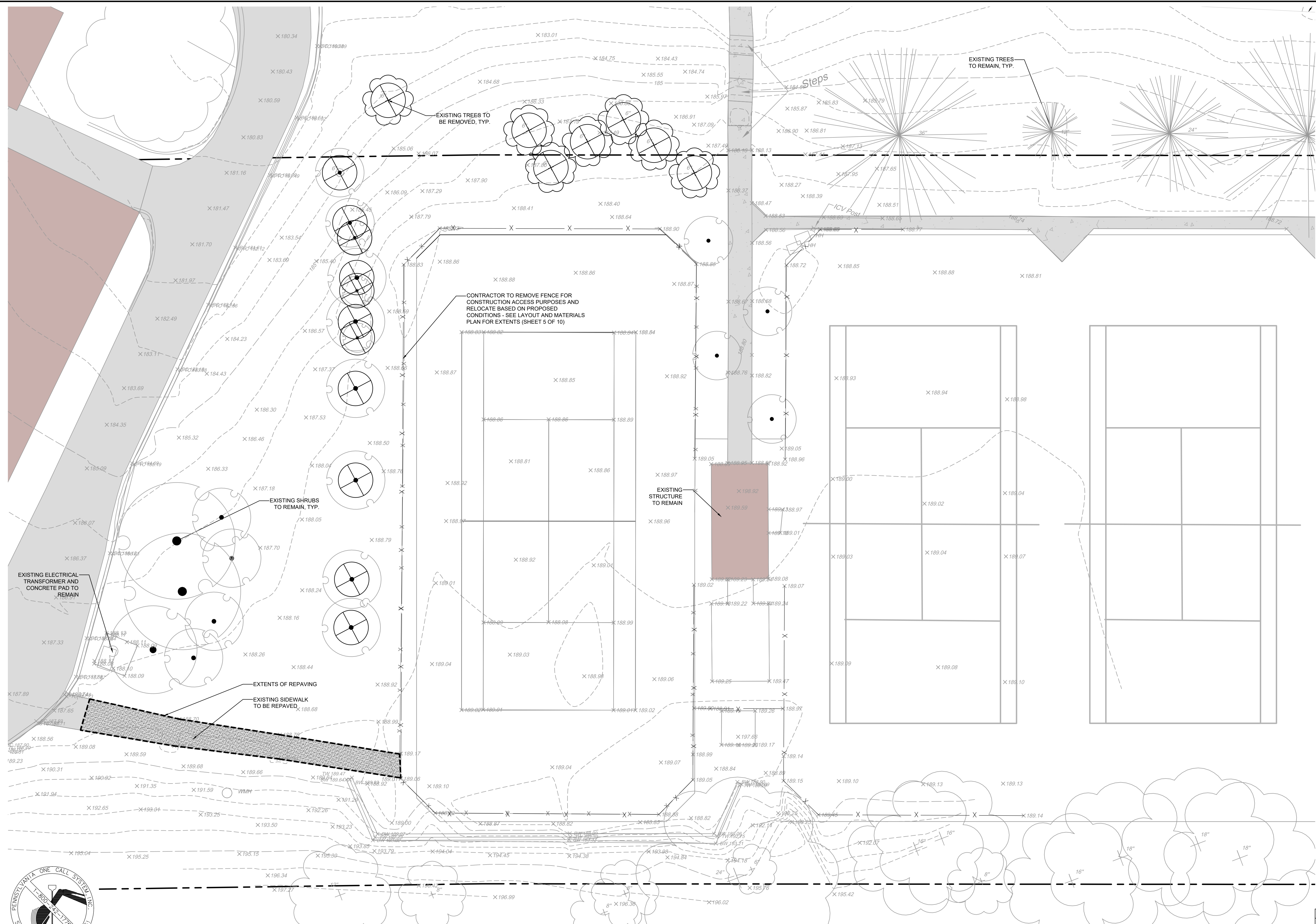
MARTIN J. EUSTACE, III  
PROFESSIONAL ENGINEER  
04899-E

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*Martin J. Eustace, III, P.E.*  
PA Lic. PE048891E

DRAWN BY: DSC  
CHECKED BY: MJE  
DATE: 04-11-2025  
DRAWING No.: D 2443-04 01

X:\PROJECTS\2400 - 24690\243104 - Green Valley Country Club Padel Drawings\Land Development\01-Existing conditions plan.dwg September 11, 2025



Location Map  
Scale: 1" = 1000'

**Legend**

	Property Line
	Right-of-Way Line
	Setback Line
	Existing Building
	Existing Asphalt Paving
	Existing Curb
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Spot Grade
	Existing Sign
	Existing Light Pole
	Existing Utility Pole
	Existing Utility Valve
	Existing Manhole
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree
	Existing Shrub
	Existing Storm Line

NOTE: UTILITIES IN PROJECT AREA ARE TO BE REMOVED OR RELOCATED AS NEEDED.

**Site Data:**  
 Address: 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9

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	REQUIRED:
LOT AREA MIN.	15,000 SF
FRONT YARD MIN.	40'
SIDE YARD MIN.	15'; AGGR. 40'
REAR YARD MIN.	40'
LOT WIDTH MIN.	90'
BLDG. HEIGHT MAX.	PRINCIPLE = 35' / ACCESSORY = 20'
BLDG. COVERAGE MAX.	20%

**RECREATIONAL DISTRICT OVERLAY SECTION 116-177:**

	REQUIRED:	EXISTING:	PROVIDED:
LOT AREA MIN.	60 AC	177.36 AC	177.36 AC
FRONT YARD MIN.	150'	N/A	N/A
SIDE YARD MIN.	100'	N/A	N/A
REAR YARD MIN.	100'	N/A	N/A
LOT WIDTH MIN.	500'	3,388'	3,388'
BLDG. HEIGHT MAX.	40'	N/A	N/A

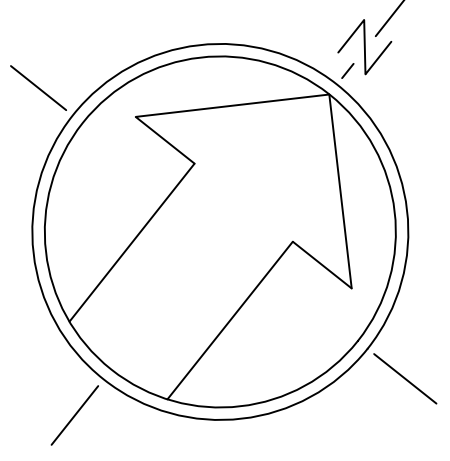
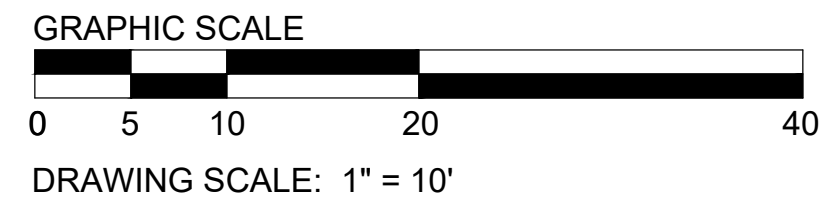
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  - Tree protection fencing must be installed prior to the start of any work product.



**Act 287**  
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

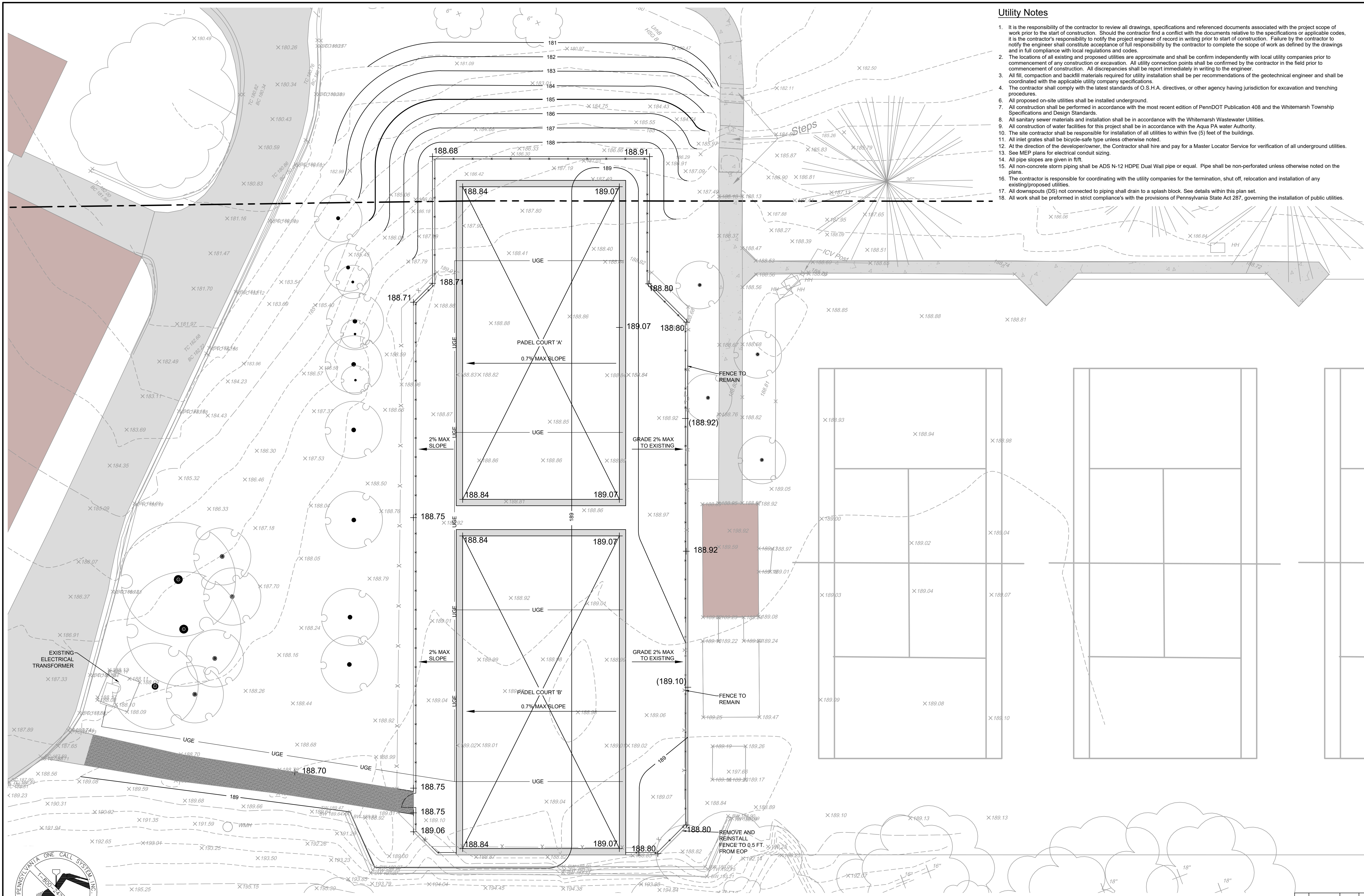
**Section 58-17(A)(2)(s)**  
 MARTIN EUSTACE, ON THIS DATE (2/29/25), HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58 "GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES"



2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

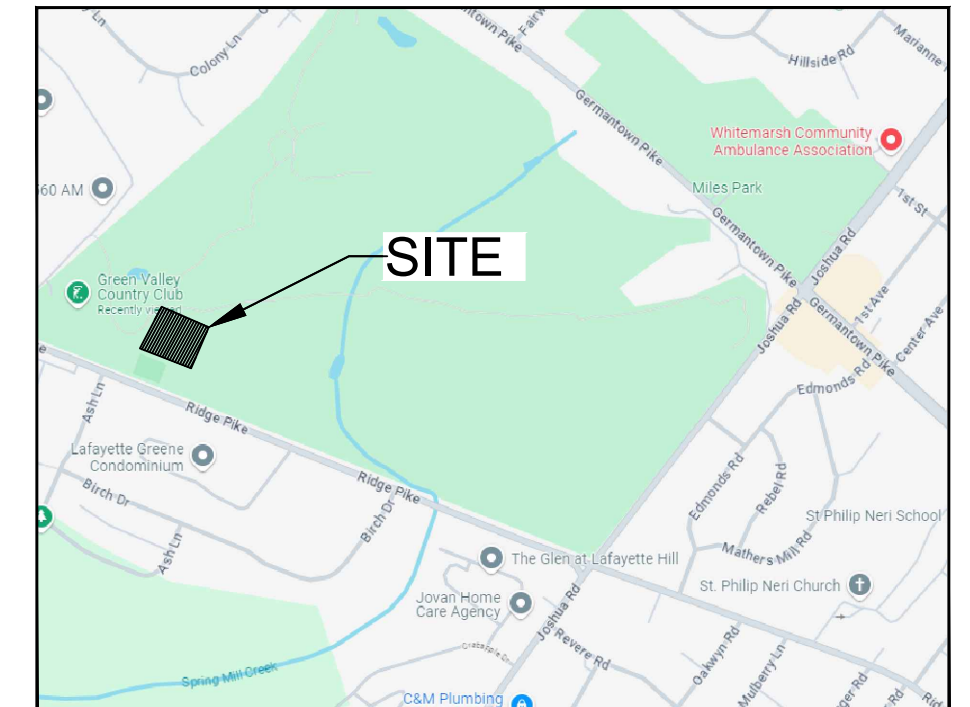
**Existing Conditions & Demolition Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

**DRAWN BY:** DSC  
**CHECKED BY:** MJE  
**DATE:** 04-11-2025  
**DRAWING No.:** D 2443-04 02



Utility Notes

- 1. It is the responsibility of the contractor to review all drawings, specifications and referenced documents associated with the project scope of work prior to the start of construction. Should the contractor find a conflict with the documents relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full compliance with local regulations and codes.
2. The locations of all existing and proposed utilities are approximate and shall be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility connection points shall be confirmed by the contractor in the field prior to commencement of construction. All discrepancies shall be reported immediately in writing to the engineer.
3. All fill, compaction and backfill materials required for utility installation shall be per recommendations of the geotechnical engineer and shall be coordinated with the applicable utility company specifications.
4. The contractor shall comply with the latest standards of O.S.H.A. directives, or other agency having jurisdiction for excavation and trenching procedures.
5. All proposed on-site utilities shall be installed underground.
6. All construction shall be performed in accordance with the most recent edition of PennDOT Publication 408 and the Whitemarsh Township Specifications and Design Standards.
7. All sanitary sewer materials and installation shall be in accordance with the Whitemarsh Wastewater Utilities.
8. All construction of water facilities for this project shall be in accordance with the Aqua PA water Authority.
9. The site contractor shall be responsible for installation of all utilities to within five (5) feet of the buildings.
10. All inlet grates shall be bicycle-safe type unless otherwise noted.
11. At the direction of the developer/owner, the Contractor shall hire and pay for a Master Locator Service for verification of all underground utilities.
12. See MEP plans for electrical conduit sizing.
13. All pipe slopes are given in ft/ft.
14. All non-concrete storm piping shall be ADS N-12 HDPE Dual Wall pipe or equal. Pipe shall be non-perforated unless otherwise noted on the plans.
15. The contractor is responsible for coordinating with the utility companies for the termination, shut off, relocation and installation of any existing/proposed utilities.
16. All downspouts (DS) not connected to piping shall drain to a splash block. See details within this plan set.
17. All work shall be performed in strict compliance with the provisions of Pennsylvania State Act 287, governing the installation of public utilities.
18. All work shall be performed in strict compliance with the provisions of Pennsylvania State Act 287, governing the installation of public utilities.



Location Map Scale: 1" = 1000'

Legend

- Existing Building
Existing Asphalt Paving
Existing Concrete
Existing Brick Paving
Existing Contour
Existing Index Contour
Existing Sign
Existing Treeline
Existing Evergreen Tree and Deciduous Tree
Proposed Sidewalk
Proposed Asphalt
Proposed Contour
Proposed Index Contour
Proposed Spot Grade
Soil Boundary
Proposed Electric Line
Proposed Landscape area
Proposed Padel Court
Proposed Trees & Shrubs
Existing Shrub

Site Data:

Address: 201 RIDGE PIKE LAFAYETTE HILL, PA 19444
Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)
Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

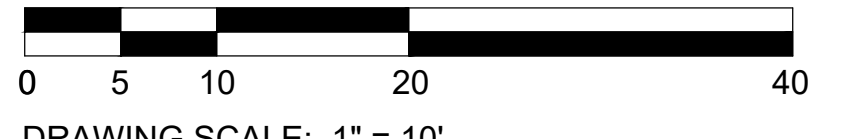
Owner/Applicant:

GREEN VALLEY COUNTRY CLUB
201 RIDGE PIKE
LAFAYETTE HILL, PA 19444

Parcel Information:

Parcel ID: 65-00-09754-00-9

GRAPHIC SCALE



DRAWING SCALE: 1" = 10'

General Notes:

- 1. Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
2. This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
3. This Plan was prepared in accordance with the instructions of the Client.
4. This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
5. Future development of this property is subject to all rules, regulations, codes and ordinances of the Whitemarsh Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
6. Attention is called to the Whitemarsh Township Zoning Code as amended.
7. A building and/or zoning permit is required for any changes to the conditions that exist within this property.
8. The subject property shown hereon may be traversed by various underground utilities and pipes. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number: 20243051401 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information is readily available. All information is to be verified via a field markout and is subject to the findings that the markout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.

- 9. Contractor responsible for all electrical connections. Coordinate with client if proposed electrical connection does not meet requirements.
10. This property has access to Ridge Pike as shown hereon and is a public roadway.
11. Existing features on adjoining properties and roadways are shown in limited detail. If future development of this warrants the involvement of adjoining properties and roadways, additional details may have to be obtained within those areas.
12. Precision of information when originally established and typographical errors in legal documentation may result in fractional difference between what is shown on this plan and the recorded information.

OWNER: I, Martin J. Eustace, III, on this date 09/12/2025, acknowledge that any revision to the approved stormwater BMP fixtures must be approved by the Municipality.

DESIGN ENGINEER: I, Martin J. Eustace, III, on this date 09/12/2025, has reviewed and hereby certifies that the stormwater management site plan meets all design standards and criteria of Chapter 58 "Grading, Erosion Control, Stormwater Management and Best Management Practices".

ZONING DATA TABLE with columns for DESCRIPTION, REQUIRED, EXISTING, and PROPOSED. Includes details for Whitemarsh Township and Recreational District Overlay Section 116-177, such as lot area, lot width, front yard, side yard, rear yard, and building coverage.

ZONING DATA TABLE with columns for DESCRIPTION and REQUIRED. Includes details for Whitemarsh Township and Zoning District A - Residential, such as use description, lot area, lot width, front yard, side yard, rear yard, and building coverage.

PROPOSED CONCRETE AREA = 3,190 S.F.
PROPOSED PADEL BALL COURTS = 4,850 S.F.
INCREASE IN IMPERVIOUS COVERAGE = 1,171 S.F.

Revision table with columns for number, date, and description. Shows two revisions for Land Development Resubmission.

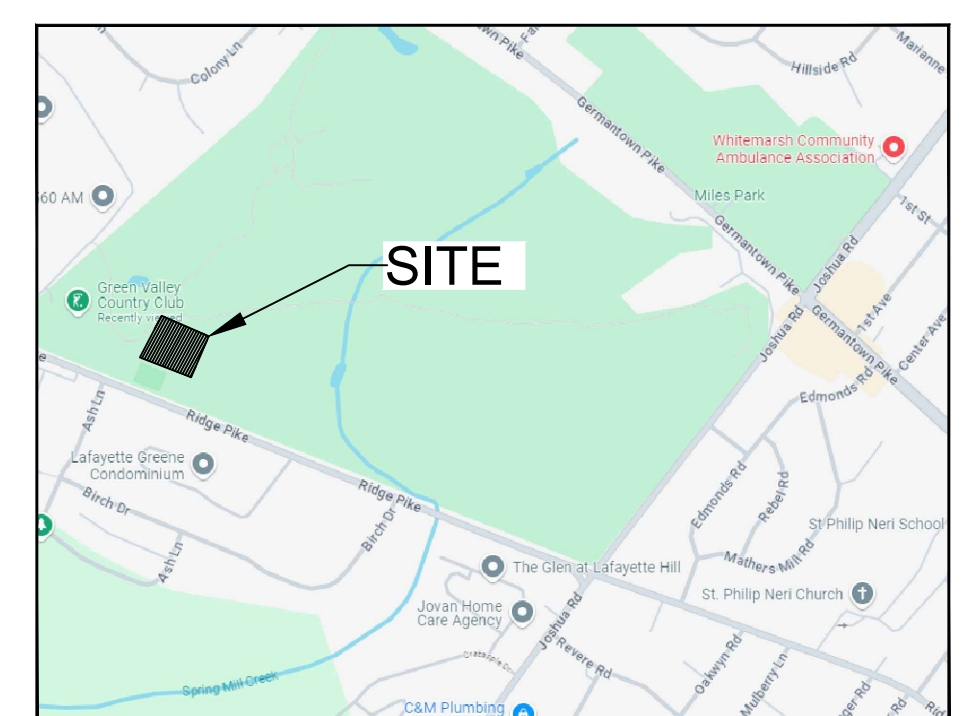
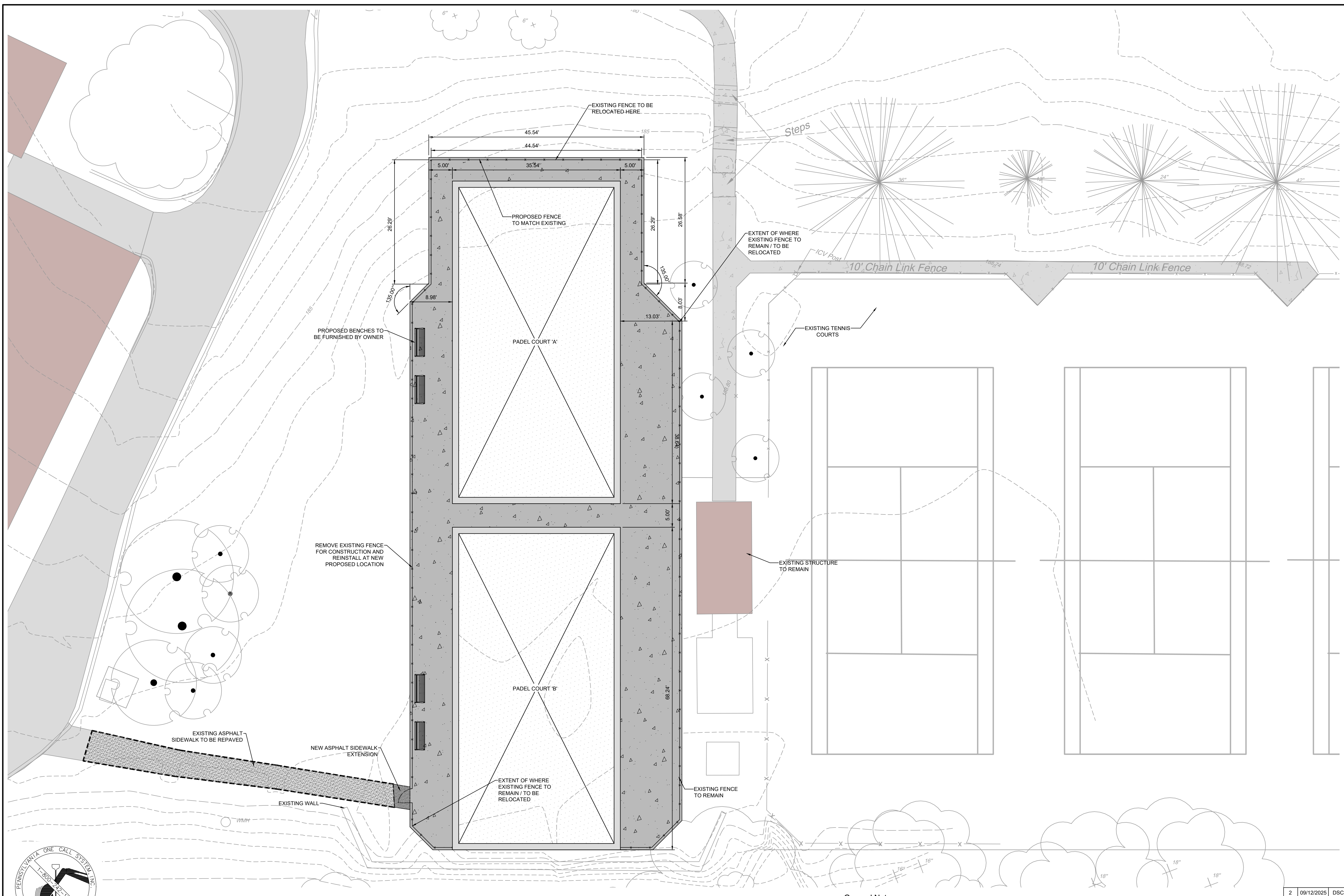
Project title block for 'Grading & Utilities Plan GREEN VALLEY COUNTRY CLUB PADEL COURTS'. Includes the Eustace Engineering logo, contact information, and drawing details like 'DRAWN BY: DSC', 'CHECKED BY: MJE', and 'DATE: 04-11-2025'.



Act 287 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

Section 58-17(A)(2)(s) MARTIN EUSTACE, ON THIS DATE 09/12/2025, HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58 "GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES".

X:\PROJECTS\2400 - 2469\243\04 - Green Valley Country Club Padel Drawings\Land Development\03 d-Layout & Materials plan.dwg September 12, 2025



Location Map  
Scale: 1" = 1000'

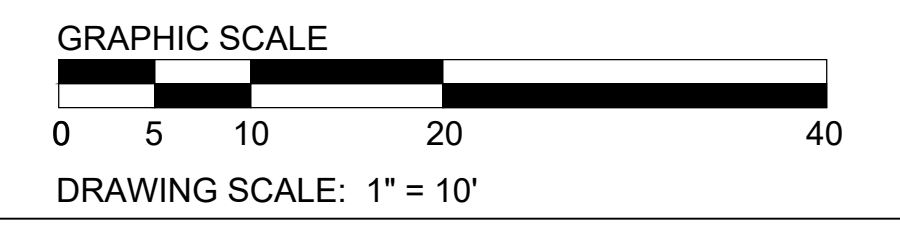
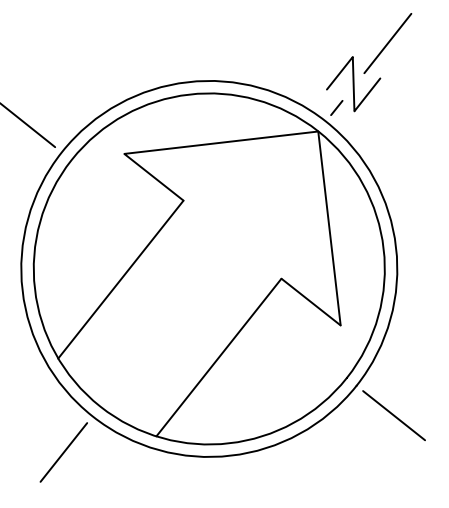
**Legend**

	Existing Building
	Existing Asphalt Paving
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Sign
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree
	Proposed Sidewalk
	Proposed Asphalt
	Proposed Contour
	Proposed Index Contour
	Proposed Spot Grade
	Soil Boundary
	Proposed Electric Line
	Proposed Landscape area

**Site Data:**  
 Address: 201 RIDGE PIKE  
 LAFAYETTE HILL, PA 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9



**Act 287**  
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
 MARTIN EUSTACE, ON THIS DATE (09/12/2025), HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58.  
 \*GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES\*

**General Notes:**

- Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
- This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
- This Plan was prepared in accordance with the instructions of the Client.
- This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
- Future development of this property is subject to all rules, regulations, codes and ordinances of the Whitmarsh Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
- Attention is called to the Whitmarsh Township Zoning Code as amended.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property.
- The subject property shown hereon may be traversed by various underground utilities and pipes. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number 20243051401 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information is to be verified via a field markout and is subject to the findings that the markout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
- This plan may not depict the location of all in-ground interment sites within the area shown hereon. In-ground interment sites may exist within this area and were not visible at the time of the survey. It is the end user's responsibility to coordinate all site activity with the property owner to avoid conflicts.
- This property has access to Germantown Pike as shown hereon and is a public roadway.
- Existing features on adjoining properties and roadways are shown in limited detail. If future development of this warrants the involvement of adjoining properties and roadways, additional details may have to be obtained within those areas.
- Precision of information when originally established and typographical errors in legal documentation may result in fractional difference between what is shown on this plan and the recorded information.
- In the event that existing fence being relocated is damaged, contractor to notify Owner / Landscape Architect and provide new fencing to match existing fencing. In the event that new fencing for the entire project is needed, please contact Owner / Landscape Architect.

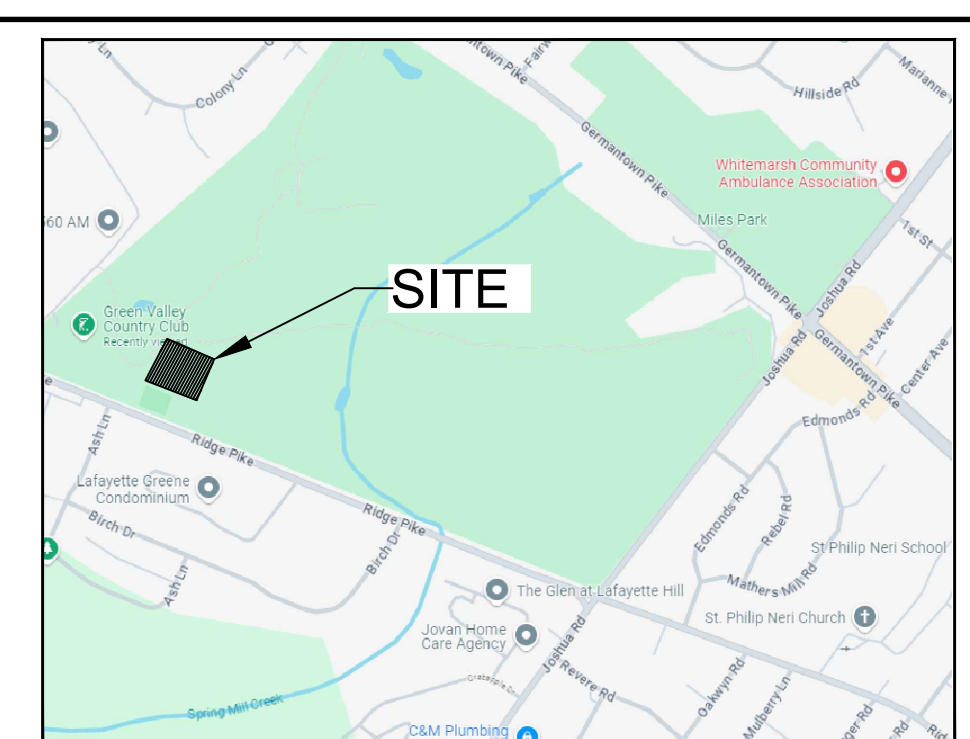
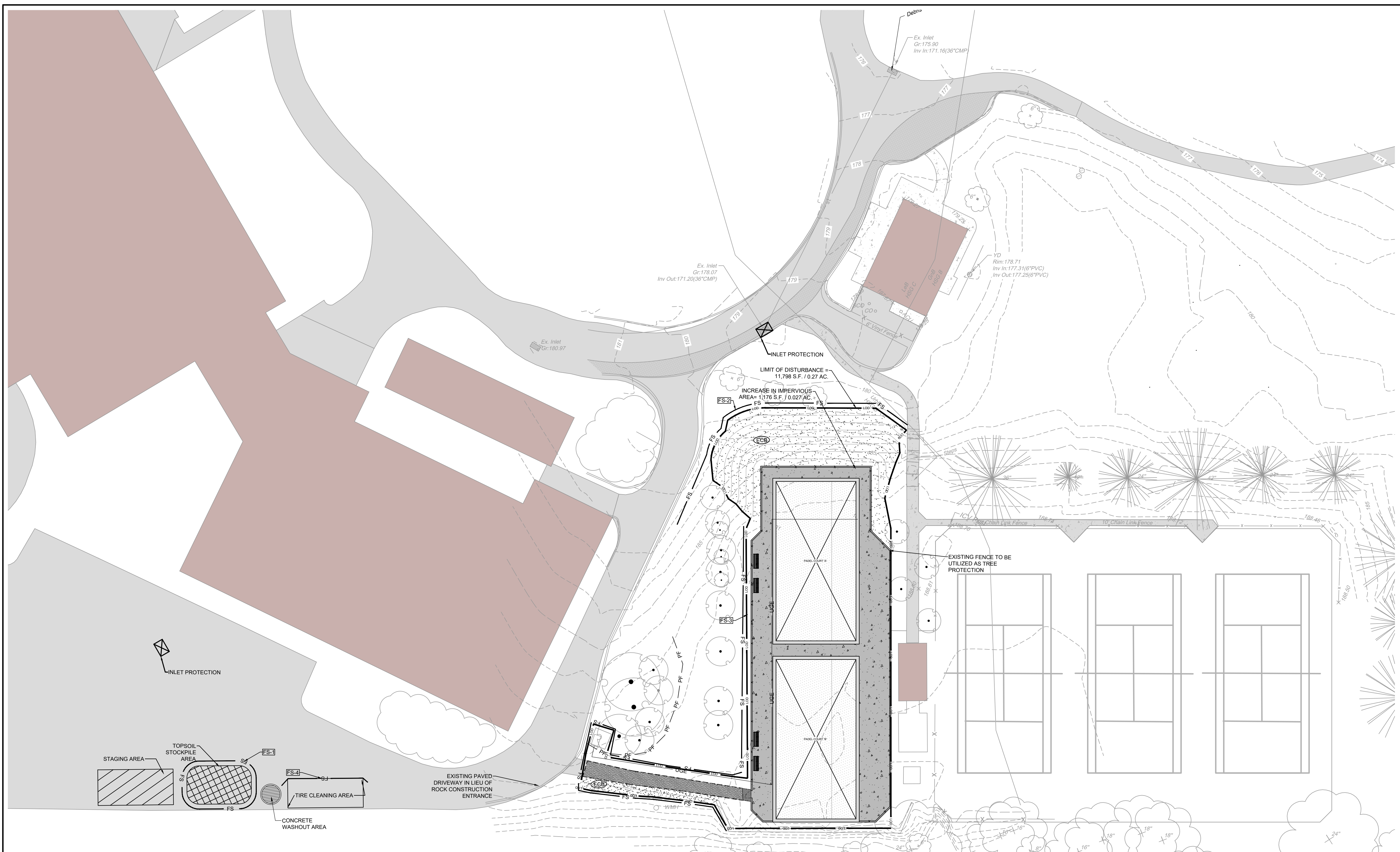
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Layout & Materials Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITMARSH TOWNSHIP

		<b>DRAWN BY:</b> DSC
		<b>CHECKED BY:</b> MJE
		<b>DATE:</b> 04-11-2025
		<b>DRAWING No.:</b> D 2443-04-04

Martin J. Eustace, III, P.E.  
 PA Lic. PE048891E

X:\PROJECTS\2400 - 2469\2443\04 - Green Valley Country Club Padel Drawings\Land Development\04-erosion control plan.dwg September 11, 2025



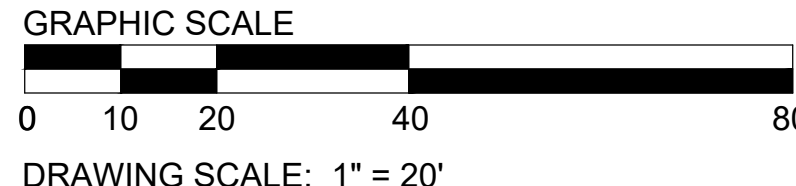
Location Map  
Scale: 1" = 1000'

- Legend**
- Property Line
  - Right-of-Way Line
  - Setback Line
  - Existing Building
  - Existing Asphalt Paving
  - Existing Curb
  - Existing Concrete
  - Existing Brick Paving
  - Existing Contour
  - Existing Index Contour
  - Existing Spot Grade
  - Existing Sign
  - Existing Light Pole
  - Existing Utility Pole
  - Existing Utility Valve
  - Existing Manhole
  - Existing Tree Line
  - Existing Evergreen Tree and Deciduous Tree
  - Proposed Building
  - Proposed Sidewalk
  - Proposed Asphalt
  - Proposed Padel Court
  - Proposed Contour
  - Proposed Index Contour
  - Proposed Spot Grade
  - Limit of Disturbance
  - Compost Filter Sock
  - Tree Protection Fence
  - Proposed Electric Line
  - Proposed Topsoil Stockpile area
  - Proposed Landscape area
  - Proposed Concrete Washout area
  - Proposed Staging area
  - Proposed Erosion Control Blanket

**Site Data:**  
 Address: 201 RIDGE PIKE  
 LAFAYETTE HILL, PA, 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9



**EROSION & SEDIMENT CONTROL NOTES**

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
- At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSI plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSI plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet.

- Stockpile slopes shall be 2H:1V or flatter.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
  - All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
  - All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
  - The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
  - All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
  - Vehicles and equipment may neither enter directly nor exit directly from the project site onto Ridge Pike.
  - Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, re-mulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
  - A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
  - Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
  - All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
  - Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outsoles shall have a minimum of 2 inches of topsoil.
  - All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
  - All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
  - Fill materials shall be free of frozen particles, brush, stumps, soil, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
  - Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
  - Fill shall not be placed on saturated or frozen surfaces.
  - Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
  - All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
  - Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
  - Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or

- other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
- Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.

- Additional Notes:**
- Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
  - Upon request, the applicant or their contractor shall provide an as-built (record drawing) for any sediment basin or trap to the municipal inspector, local conservation district or the Department.

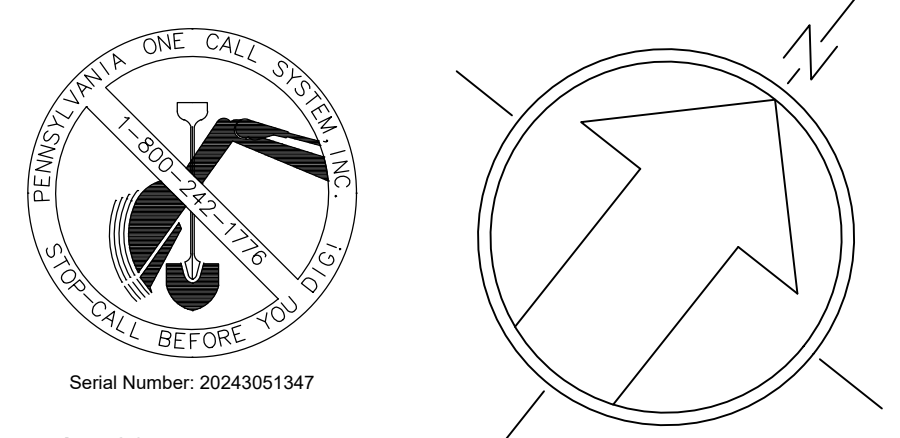
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Erosion & Sediment Control Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

MARTIN J. EUSTACE, III, P.E.  
PA Lic. PE048891E

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 Willow Grove, PA 19090  
 Tel: (215) 348-8757  
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 www.eustaceeng.com

DRAWN BY: DSC  
 CHECKED BY: MJE  
 DATE: 04-11-2025  
 DRAWING No: D 2443-04 05



**Act 287**  
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
 MARTIN EUSTACE, ON THIS DATE 09/11/2025 (2/29/25), HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58 "GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES"

## STANDARD E&S PLAN NOTES

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
- At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the PCSM plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-443-1776 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan maps(s) in the amount necessary to complete the final grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2:1H or flatter.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
- All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
- All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
- The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
- All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
- Vehicles and equipment may neither enter directly nor exit directly from the project site onto Ridge Pike.
- Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
- A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
- Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
- All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
- Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
- All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
- All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
- Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
- Frozen materials or soft, muddy, or highly compressible materials shall not be incorporated into fills.
- Fill shall not be placed on saturated or frozen surfaces.
- Seeps or springs encountered during construction shall be handled in accordance with the standard specification for subsurface drain or other approved method.
- All graded areas shall be permanently stabilized immediately upon reaching finished grade. Top slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
- Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
- Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMP. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
- Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 902 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor/criminal penalties for each violation.

## Additional Notes:

- Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
- Upon request, the applicant or their contractor shall provide an as-built (revised drawing) for any sediment basin or trap to the municipal inspector, local conservation district or the Department.

## E&S CONTROL NARRATIVE

Prepared by: Martin J. Eustace, III, P.E.  
 Experience: Since 1988 has prepared numerous sedimentation plans for sites up to 700 acres, located in Bradford, Bucks, Chester, Montgomery, Tioga & Philadelphia Counties.

## SITE LOCATION

The project site is within the Green Valley Country Club located at Block 030 Unit 001, 201 ridge pike, Lafayette Hill, PA, Montgomery County, PA, behind the Tennis Club and Ridge Pike. The proposed improvements are for 2 Proposed Padel Courts and sidewalk to be constructed. The property is served by public water and public sewer. The site is zoned A-Residential District & Recreational Overlay District.

## EXISTING SITE & PROPOSED DEVELOPMENT

The property has been developed into a golf course and this area is one of the practice greens on the site.  
 The improvement areas slopes from south to north and are to be existing grass field. No naturally occurring geologic/sol conditions that have the potential to cause pollution exist.  
 The proposed improvements include the construction of a 2 new Padel Courts and sidewalk area. Access to the site shall be via the entrance at Ridge Pike.  
 7,264 s.f. impervious coverage is proposed.

## PROPOSED E&S CONTROL

During the earthmoving period, we propose to control erosion and sedimentation by use of compost filter sock, inlet filter bag and tree protection fence.  
 After any excavation begins, all perimeter compost filter sock shall be installed parallel to existing grade, as illustrated on the plans. All sedimentation control measures pertaining to the area to be disturbed shall be installed and maintained at all times. Erosion control shall be made to maximize protection of existing drainage features and vegetation by installing the tree protection fence and compost filter socks prior to beginning excavation.  
 To limit the extent and duration of earth disturbance only that portion of the site that is to receive improvements shall be stripped of all vegetation and topsoil that may be present. The topsoil required for redistribution will be stockpiled, seeded and mulched immediately and protected by compost filter sock. All newly graded slopes of 3:1 and steeper shall be covered immediately with appropriate erosion control blankets. To the greatest extent possible, the contractor shall utilize construction methods that limit soil compaction during construction.  
 Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance will include inspection of all erosion and sedimentation control facilities after each storm event and on a daily basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting will be performed immediately. The owner's representative in charge of the project will be responsible for the implementation of this sedimentation control plan and the maintenance of all facilities until the project is fully stabilized.  
 Stabilization of slopes and lawns shall consist of a permanent type of seeding or sodding, and will be conducted in accordance with the applicable Soil Conservation Service Specifications. Final stabilization measures of the site shall be completed immediately after this project has been fully completed. Other measures that help prevent or minimize generation of increased stormwater runoff during construction include proper sequencing and maintenance of temporary facilities.

## MAINTENANCE PROGRAM

The contractor shall check the erosion and sedimentation control facilities as noted (once daily or weekly per BMP - see respective details), prior to any anticipated rainfall events, and after every runoff event. Sediment barriers shall be maintained in good repair, remove silt build up per detail, spread and stabilize on site. Seeded areas that washed away shall be filled and graded as necessary and then reseeded and mulched. Where sediment barrier has been washed out by concentrated runoff, repair compost filter sock and provide rock filter berm backing to the filter sock to a depth of 2' by 20' wide. Inlet filter bags shall be emptied and replaced when half full when flow capacity has been reduced so as to cause flooding by bypassing the inlet. Inspection must be logged onto DEP form 3800-FM-BCW0271d, dated 12/2019 and kept on site at all times.

## SURFACE WATERS

Receiving Water: Schuylkill River  
 The designated use of the receiving water under 25 Pa. Code Chapter 93 is TSF (Trot Stocking) and MF (Nigro Fishes). The receiving water is neither HQ (High Quality) nor EV (Excellent Value).  
 The receiving water is impaired for siltation (Category 5). The water has an established TMDL for erosion in the report of Maximum Daily Load For Sediment and Nutrients Schuylkill River Watershed, dated 2005.

## RECYCLING OR DISPOSAL OF MATERIALS

The operator shall remove from the site, recycle or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq.  
 Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water.  
 Construction traffic must enter and exit the site and disturbed areas at the designated entrance. Water trucks will be used as needed during construction to reduce dust generation on the site. Dust control must be provided by the contractor to a degree that is acceptable to the local conservation district.  
 No solid materials, including building materials, are allowed to be discharged from the site with stormwater. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site.  
 Non-stormwater components of site discharge must be clean water. Water used for construction which discharges from the site must originate from a public water supply or private well approved by the State health department. Water used for construction that does not originate from an approved public supply must not discharge from the site.

## TOPSOIL APPLICATION NOTES

Graded areas should be scarified or otherwise loosened to a depth of 3 to 5 inches to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.  
 Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum - 2 inches on fill outcrops. Spreading should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the PCSM plan.  
 Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. Compacted soils should be scarified 6 to 12 inches along contour wherever possible prior to seeding.

TABLE 11.1  
 Cubic Yards of Topsoil Required for Application to Various Depths

Depth (in)	Per 1,000 SF	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1074

## PROPOSED TEMPORARY SEEDING

100% Perennial Ryegrass  
 Pure Live Seed: 81%  
 Rate: 1 Lbs. per 1,000 s.f. = 0.02 Tons/Ac.  
 Provide clean mulch on all seeded areas.  
 Fertilizer: 12.5 Lbs. per 1,000 s.f. / 10-10-10 Equiv. = 0.25 Tons/Ac.  
 Lime: 40 Lbs. per 1,000 s.f. = 1 Tons/Ac.  
 Straw Mulch: 140 Lbs. per 1,000 s.f. = 3 Tons/Ac.  
 Provide clean, unchopped or not finely broken straw mulch on all seeded areas that are not blanketed. Straw should be either wheat or oat straw.  
 Anchor Material: Organic Guar-gum Based Tackifier  
 Anchoring Method: Per manufacturer's recommendation. Preferably apply straw and tackifier at the same time.  
 Anchoring Rate: Per manufacturer's recommendation. (Typ. 20-40 lbs per Acre)

## PROPOSED PERMANENT SEEDING - LAWN

80% Turf Type Tall Fescue (3 dark green drought tolerant varieties min.)  
 10% Kentucky Bluegrass (drought tolerant variety)  
 10% Turf Type Perennial Ryegrass Rate: 6 Lbs. Per 1,000 s.f. = 262 Lbs./Ac.  
 Fertilizer: 25 Lbs./1,000 s.f./10-20-20 Equiv. = 0.50 Tons/Ac.  
 Lime 240 Lbs./1,000 s.f. = 6 Tons/Ac.  
 Straw mulch: 140 Lbs./1,000 s.f. = 3 Tons/Ac.  
 Provide clean, unchopped or not finely broken straw mulch on all seeded areas that are not blanketed. Straw should be either wheat or oat straw.  
 Anchor Material: Organic Guar-gum Based Tackifier  
 Anchoring Method: Per manufacturer's recommendation. Preferably apply straw and tackifier at the same time.  
 Anchoring Rate: Per manufacturer's recommendation. (Typ. 20-40 lbs per Acre)

	Temporary Seeding		Permanent Seeding	
	% Purity	85%	95%	95%
% Pure Live Seed	95%	98%	98%	98%
Topsoil Placement Depth	N/A	6 inches	6 inches	6 inches
Seeding Season	Spring	N/A	April 15 - June 15	
	Fall	N/A	August 15 - November 1	

## CONSTRUCTION SEQUENCE

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed in compliance with Chapter 102 regulations before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.  
 At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the E&S plan preparer, the licensed design professional, and a representative of the Montgomery County Conservation District to schedule an on-site meeting.  
 At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities locations. The contractor shall verify locations and depths of all existing utilities prior to start of work.  
 Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water. The operator is responsible for ensuring that any fill or borrow sites used for soil import/export have all applicable approved permits under E&S plans.  
 Cessation of activity for 4 days or longer requires temporary stabilization. No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations. Stabilization of fill slopes shall be in 15-25 foot vertical increments.

Before implementing any revisions to the approved erosion and sediment control plan, or revisions to other plans which may affect the effectiveness of the approved E&S control plan(s), the operator must receive the approval of the revisions from the Montgomery County Conservation District and Township.

Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water. The operator is responsible for ensuring that any fill or borrow sites used for soil import/export have all applicable approved permits under E&S plans.

Cessation of activity for 4 days or longer requires temporary stabilization. No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations. Stabilization of fill slopes shall be in 15-25 foot vertical increments.

- Stake out the limit of disturbance. Install compost filter sock, tree protection fence, & fire cleaning station as shown on plans.
- Construction vehicles shall enter or exit the site via the existing paved driveway at Ridge Pike. Existing paved areas shall be swept regularly throughout the day to prevent soil and sediment from being tracked into undisturbed areas and onto Ridge Pike. The sediment shall be collected at fire cleaning station with water. Sediment shall be recycled or disposed of per notes on this sheet. Dust control shall be provided as needed.
- Upon the installation or stabilization of all perimeter sediment control BMPs and at least 48 hours prior to proceeding with the bulk earth disturbance activities, the operator shall provide notification to the Montgomery County Conservation District, Township, and Township Engineer.
- Strip and stockpile topsoil from area of expansion required for proposed pad court. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.
- Remove existing Tennis Court.
- Rough grade in the area of improvements. Stabilize disturbed areas with permanent seeding and mulch and/or place erosion control blankets on all slopes 3:1 or steeper along with permanent lining as noted on plans.
- Remove or Relocate irrigation system and site lighting wiring as needed.
- Install electric to proposed pole location for lighting of the Padel Courts.
- Begin building foundation for Courts.
- Install sidewalk.
- Complete Court construction.
- Perform final site grading where necessary.
- Install sod, permanent seeding, landscaping, etc.
- Remove any accumulated sediment from compost filter socks and stabilize elsewhere on site.
- Contact Design Professional once 70% uniform perennial cover is reached and before any BMPs are removed.
- Remove temporary erosion control measures after all disturbed areas are stabilized with a minimum of 80% vegetative cover. Re-stabilize all areas disturbed due to the removal of temporary erosion control facilities.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.

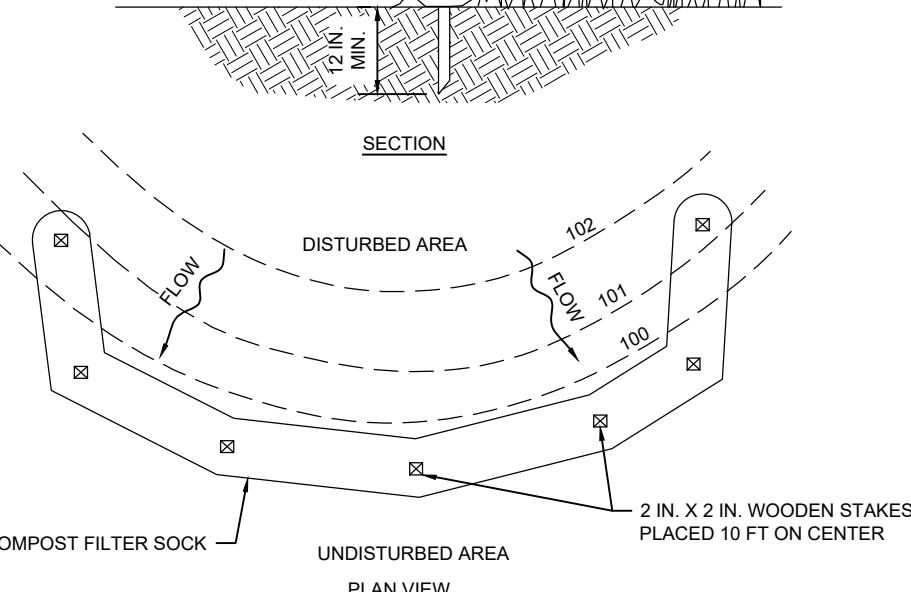
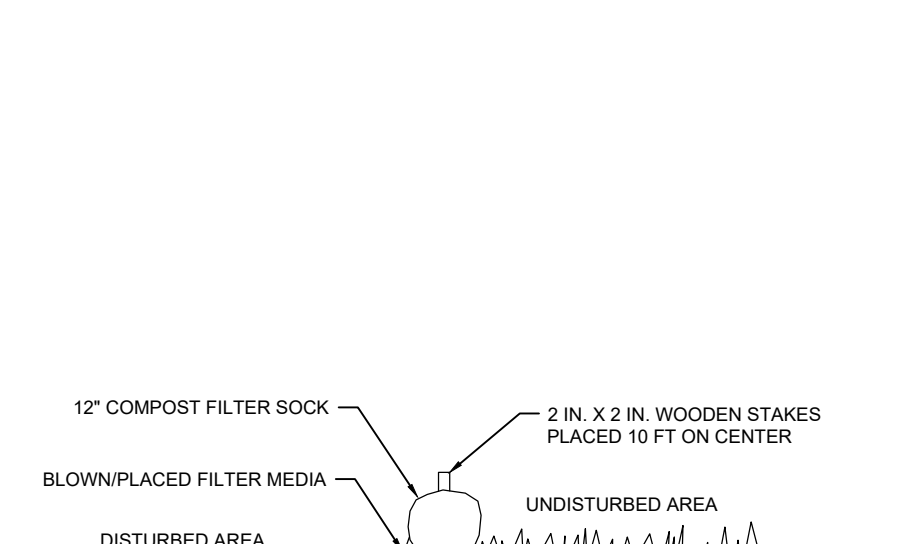
- Stockpile heights must not exceed 35'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be disturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas, which are either at finished grade or will be restabilized within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a daily/weekly basis as noted. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
- Site inspections and maintenance of all BMPs shall be conducted daily/weekly as noted, after every runoff event and also prior to any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
- All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching, and renetting, must be performed immediately. If erosion and sediment BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be needed.
- Where BMPs are found to fail to alleviate erosion and sediment pollution, the permittee shall include the following information:  
 a. The location and severity of the BMP's failure and any pollution events.  
 b. All steps taken to reduce, eliminate, and prevent the recurrence of the non-compliance.  
 c. The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.

- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater on an all disturbed areas within 50 feet of streams and wetlands.

## PROJECT NOTES

- Plan set bearing the stamp of Township Engineer must remain on site during duration of grading until work is complete.
- Permit holder will notify the Township Engineer for inspections at least 48 hours prior to initial inspection, rough grading is being performed, any work on: drainage facilities, BMPs, and special structures, and for final inspection.

12" COMPOST FILTER SOCK  
 BLOWN PLACED FILTER MEDIA  
 UNDISTURBED AREA  
 DISTURBED AREA  
 2 IN. X 2 IN. WOODEN STAKES PLACED 10 FT ON CENTER

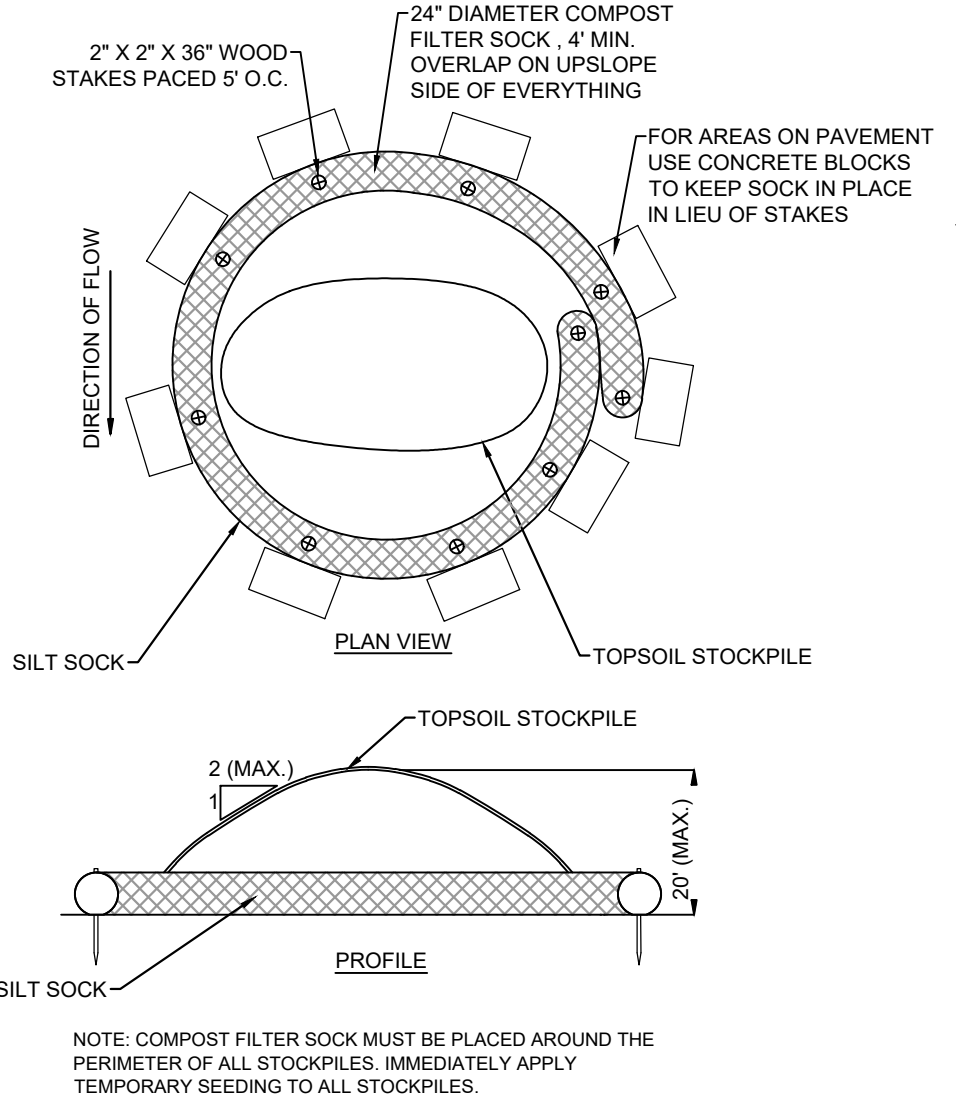


LOCATION	SOCK DIA	DIAMETER (IN)	SLOPE PERCENT	MAX. SLOPE LENGTH (FT)
AROUND TOPSOIL STOCKPILE	FS-1	12	33	10
END OF EXISTING TENSIS COURT	FS-2	12	33	10
SIDE OF EXISTING TENSIS COURT	FS-3	9	2	17
AROUND TREE WASH AREA	FS-4	12	1	32

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

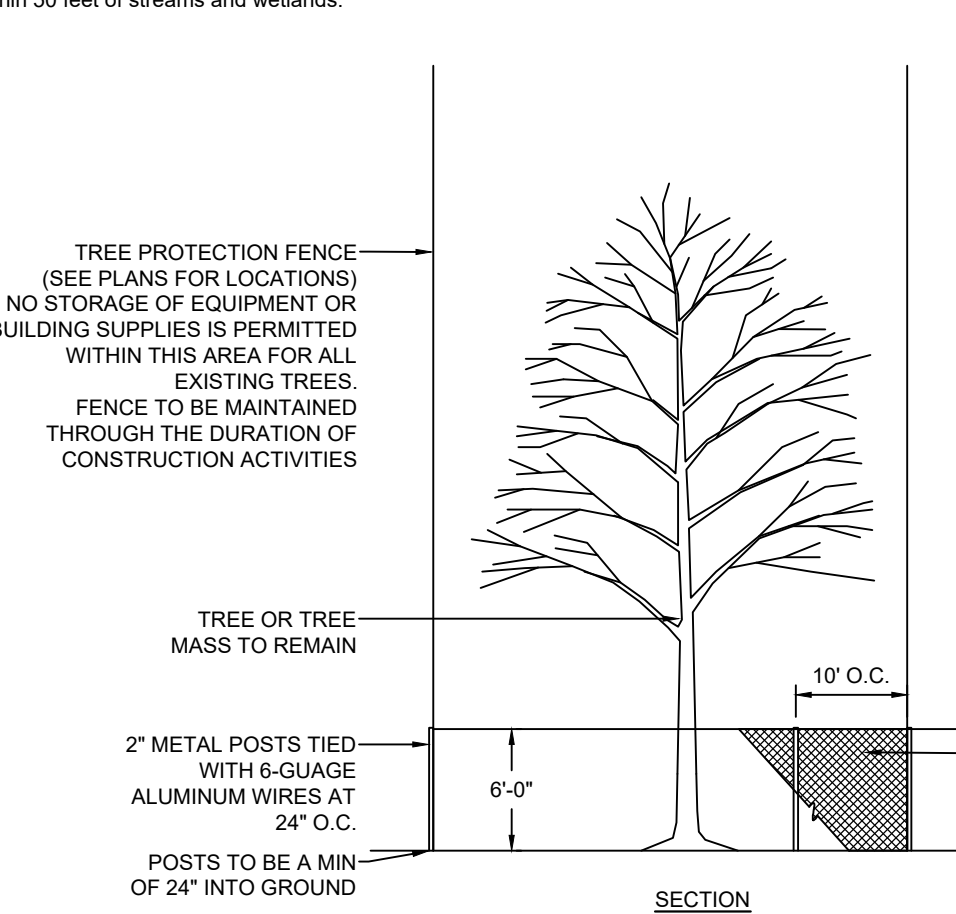
3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT, EXISTING TREES WHICH HAVE NOT BEEN ADEQUATELY PROTECTED MAY BE REQUIRED TO BE REMOVED AND REPLACED. TREE PROTECTION FENCING SHALL BE ESTABLISHED BY ENCOMPASSING THE DIMENSIONS OF EACH ROOT PROTECTION ZONE AS CALCULATED AT 1.25 FEET (RADIUS) PER ONE INCH OF DBH.  
 4.1. TREE WATERING. PROVISIONS SHOULD BE MADE TO WATER DESIGNATED TREES DURING PERIOD OF DROUGHTS, PERIODS OF DROUGHT ARE DEFINED AS A TIME WHEN THERE IS LESS THAN 1" OF RAINFALL DURING ANY 30-DAY PERIOD. TREES SHOULD BE WATERED AT A RATE OF 50 GALLONS PER INCH DIAMETER. APPLICATION SHOULD BE MADE SO THAT THE WATER SLOWLY SOAKS INTO THE GROUND AND DOES NOT RUN OFF.  
 5.1. POST-CONSTRUCTION PRUNING. SOME TREES MAY BE INADVERTENTLY DAMAGED DURING CONSTRUCTION ACTIVITIES. ALL POST-CONSTRUCTION PRUNING SHOULD BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.  
 6.1. CONSTRUCTION EQUIPMENT. ALL CONSTRUCTION EQUIPMENT SHALL BE PROTECTED BY 6" HIGH CHAIN LINK FENCING, STAKED EVERY 10 FEET TO ENSURE THAT THERE IS NOT ENCROACHMENT WITHIN THE AREA OF THEIR DRIP LINE BY CHANGING GRADE, TRENCHING, STOCKPILING OF BUILDING MATERIALS OR TOPSOIL OR THE COMPACTON OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLES. UNLESS THE FOLLOWING REGULATIONS ARE NOT MET:  
 3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR

## STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



NOTE: COMPOST FILTER SOCK MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES.

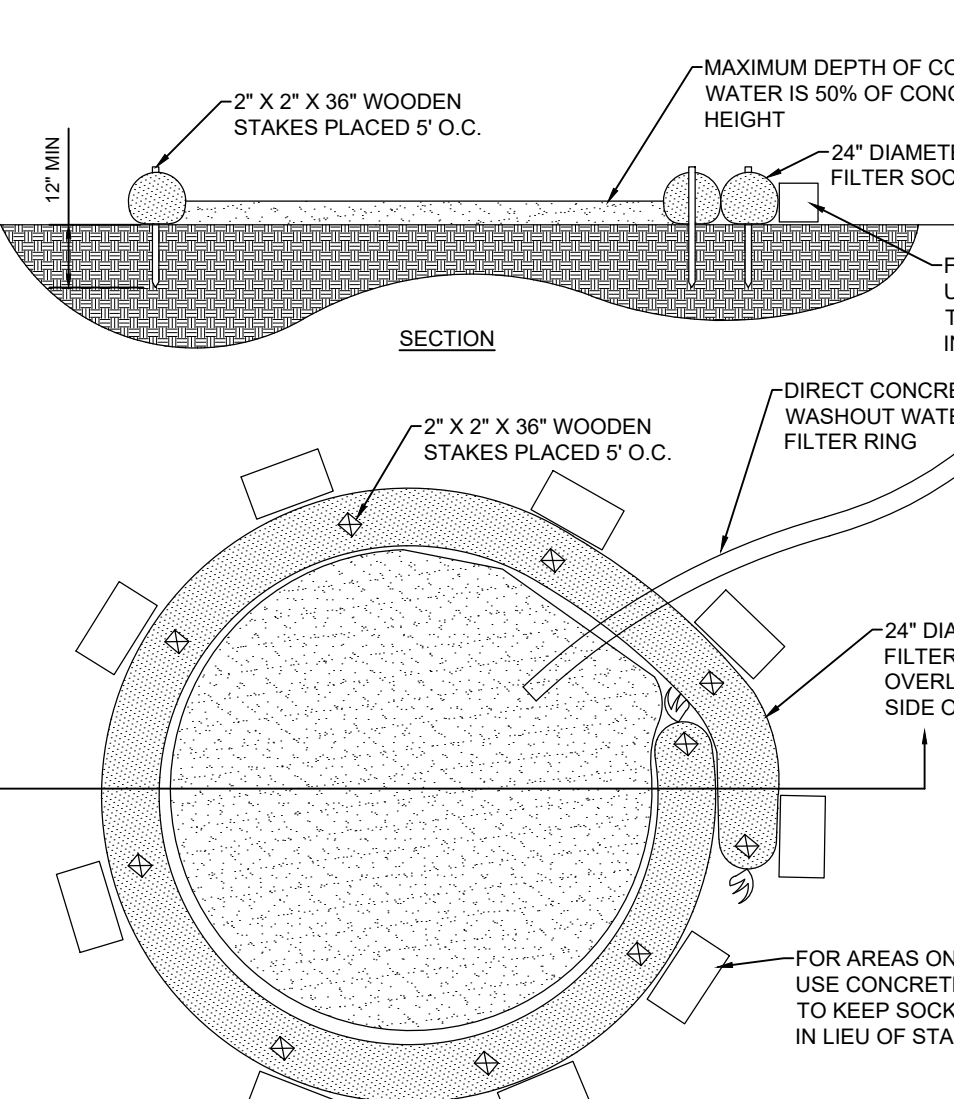
- Stockpile heights must not exceed 35'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be disturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas, which are either at finished grade or will be restabilized within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a daily/weekly basis as noted. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
- Site inspections and maintenance of all BMPs shall be conducted daily/weekly as noted, after every runoff event and also prior to any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
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- Where BMPs are found to fail to alleviate erosion and sediment pollution, the permittee shall include the following information:  
 a. The location and severity of the BMP's failure and any pollution events.  
 b. All steps taken to reduce, eliminate, and prevent the recurrence of the non-compliance.  
 c. The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater on an all disturbed areas within 50 feet of streams and wetlands.



## TREE PROTECTION DETAIL

3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT, EXISTING TREES WHICH HAVE NOT BEEN ADEQUATELY PROTECTED MAY BE REQUIRED TO BE REMOVED AND REPLACED. TREE PROTECTION FENCING SHALL BE ESTABLISHED BY ENCOMPASSING THE DIMENSIONS OF EACH ROOT PROTECTION ZONE AS CALCULATED AT 1.25 FEET (RADIUS) PER ONE INCH OF DBH.  
 4.1. TREE WATERING. PROVISIONS SHOULD BE MADE TO WATER DESIGNATED TREES DURING PERIOD OF DROUGHTS, PERIODS OF DROUGHT ARE DEFINED AS A TIME WHEN THERE IS LESS THAN 1" OF RAINFALL DURING ANY 30-DAY PERIOD. TREES SHOULD BE WATERED AT A RATE OF 50 GALLONS PER INCH DIAMETER. APPLICATION SHOULD BE MADE SO THAT THE WATER SLOWLY SOAKS INTO THE GROUND AND DOES NOT RUN OFF.  
 5.1. POST-CONSTRUCTION PRUNING. SOME TREES MAY BE INADVERTENTLY DAMAGED DURING CONSTRUCTION ACTIVITIES. ALL POST-CONSTRUCTION PRUNING SHOULD BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.  
 6.1. CONSTRUCTION EQUIPMENT. ALL CONSTRUCTION EQUIPMENT SHALL BE PROTECTED BY 6" HIGH CHAIN LINK FENCING, STAKED EVERY 10 FEET TO ENSURE THAT THERE IS NOT ENCROACHMENT WITHIN THE AREA OF THEIR DRIP LINE BY CHANGING GRADE, TRENCHING, STOCKPILING OF BUILDING MATERIALS OR TOPSOIL OR THE COMPACTON OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLES. UNLESS THE FOLLOWING REGULATIONS ARE NOT MET:  
 3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR

## STANDARD CONSTRUCTION DETAIL #4-2 CONCRETE WASHOUT

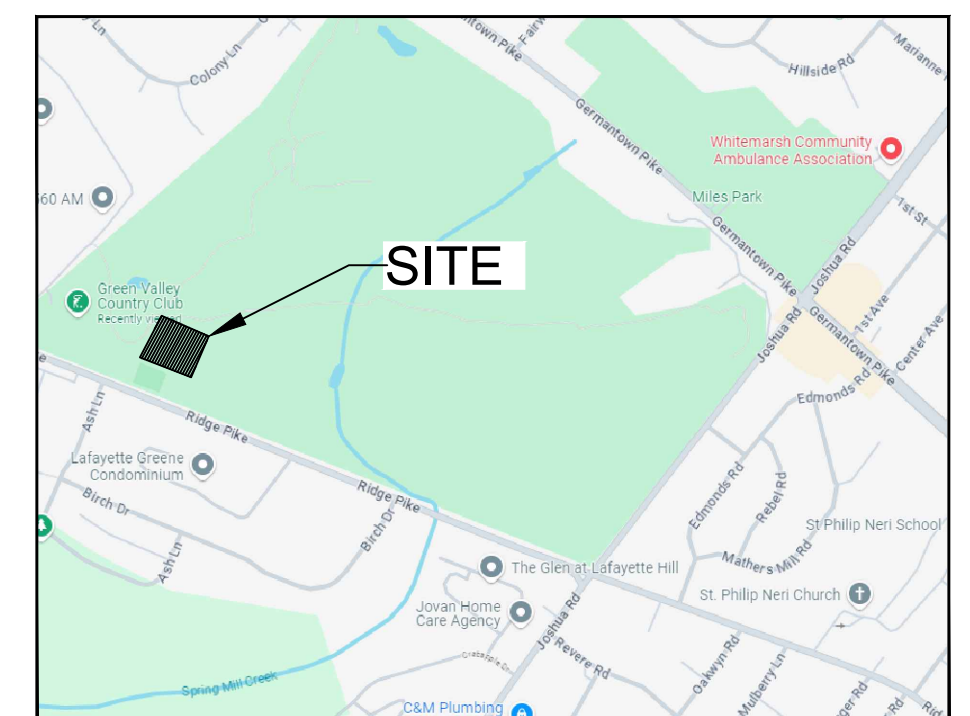
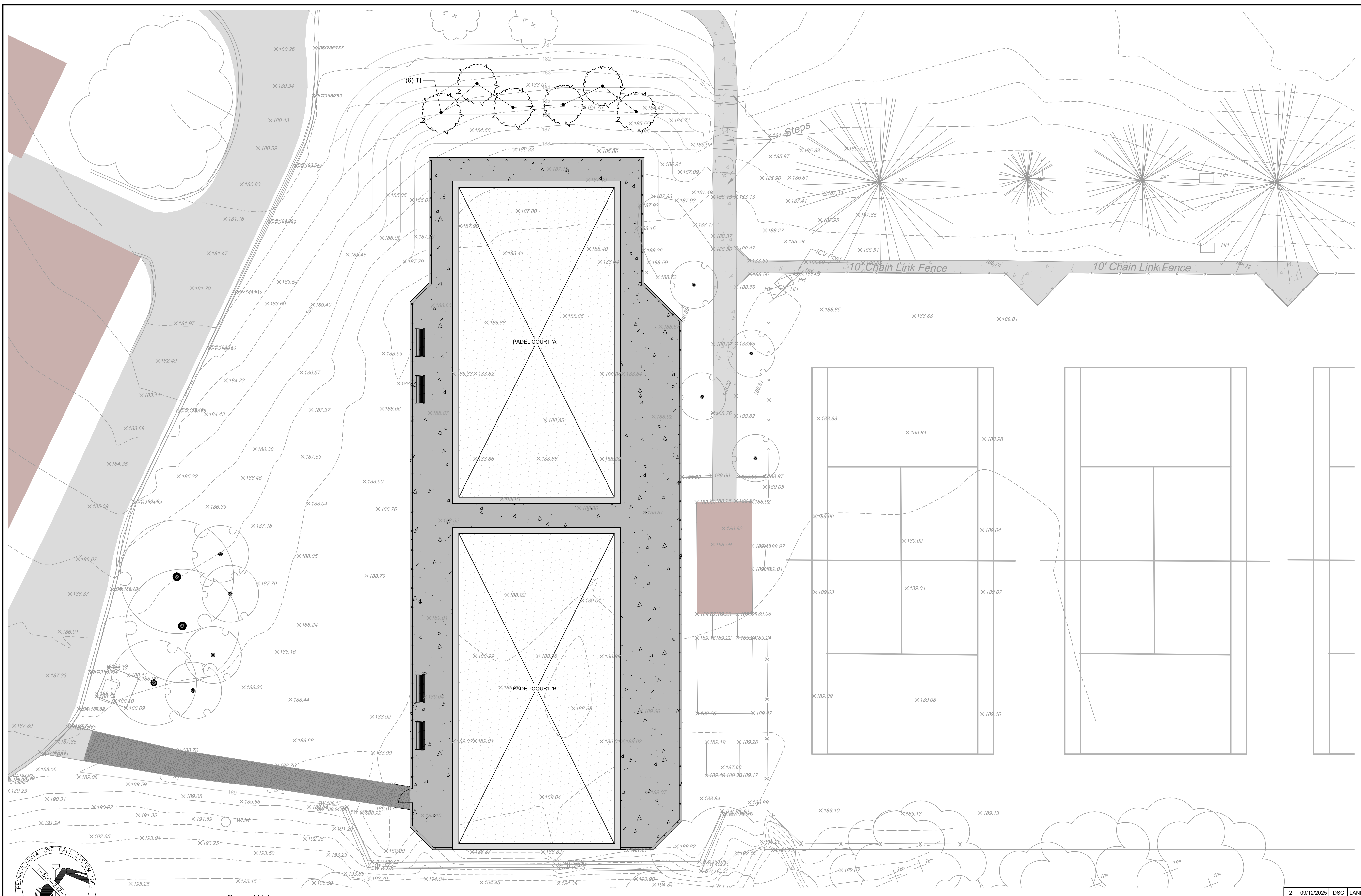


NOTE: CONCRETE WASHOUT MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES.

- Stockpile heights must not exceed 35'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be disturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas, which are either at finished grade or will be restabilized within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a daily/weekly basis as noted. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
- Site inspections and maintenance of all BMPs shall be conducted daily/weekly as noted, after every runoff event and also prior to any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
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 c. The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater on an all disturbed areas within 50 feet of streams and wetlands.



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Location Map  
Scale: 1" = 1000'

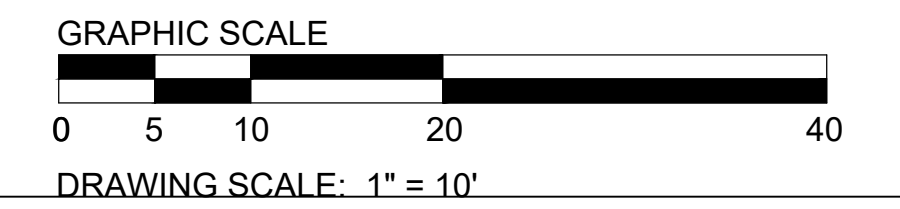
**Legend**

	Existing Building
	Existing Asphalt Paving
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Sign
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree
	Proposed Sidewalk
	Proposed Asphalt
	Proposed Contour
	Proposed Index Contour
	Proposed Spot Grade
	Soil Boundary
	DuA
	UFB
	Proposed Electric Line
	Proposed Landscape area
	Proposed Padel Court
	Proposed Trees & Shrubs
	Existing Shrub

**Site Data:**  
 Address: 201 RIDGE PIKE LAFAYETTE HILL, PA. 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9



**General Notes:**

- Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
- This plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
- This plan was prepared in accordance with the instructions of the Client.
- This plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
- Future development of this property is subject to all rules, regulations, codes and ordinances of the Whitemarsh Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
- Attention is called to the Whitemarsh Township Zoning Code as amended.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property.
- The subject property shown hereon may be traversed by various underground utilities and pipes. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number: 20243051401 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information is to be verified via a field layout and is subject to the findings that the layout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
- This plan may not depict the location of all in-ground interment sites within the area shown hereon. In-ground interment sites may exist within this area and were not visible at the time of the survey. It is the end user's responsibility to coordinate all site activity with the property owner to avoid conflicts.
- This property has access to Germantown Pike as shown hereon and is a public roadway.
- Existing features on adjoining properties and roadways are shown in limited detail. If future development of this warrants the involvement of adjoining properties and roadways, additional details may have to be obtained within those areas.
- Precaution of information when originally established and typographical errors in legal documentation may result in fractional difference between what is shown on this plan and the recorded information.

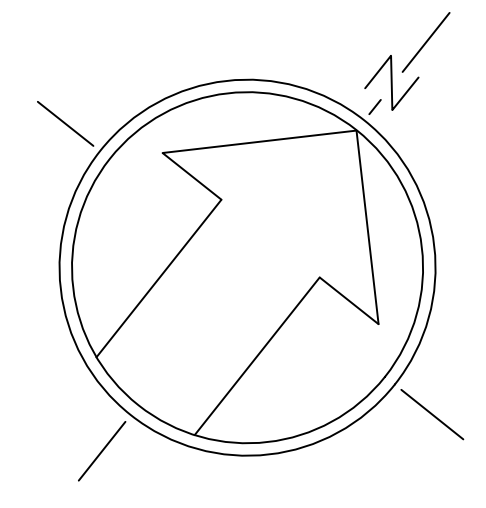
**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	TI	Thuja x 'Green Giant' / Green Giant Arborvitae	8ft ht	B&B	6



**Act 287**  
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
 MARTIN EUSTACE, ON THIS DATE (09/12/2025) (2/29/25), HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58.  
 \*GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES\*



**Landscape Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

**EUSTACE**  
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

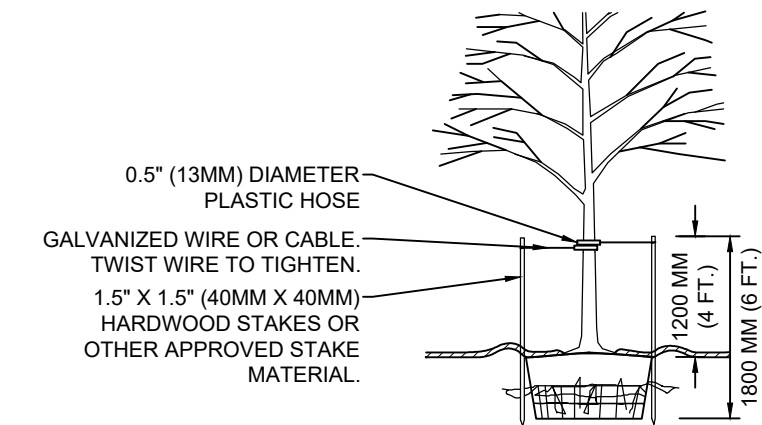
307 Easton Road  
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 Tel: (215) 348-8757  
 Fax: (215) 348-8759  
 www.eustaceeng.com

Martin J. Eustace, III, P.E.  
 PA Lic. PE048891E

**DRAWN BY:** DSC  
**CHECKED BY:** MJE  
**DATE:** 04-11-2022  
**DRAWING No.:** D 2443-04 07

**LANDSCAPE SPECIFICATIONS**

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
2. MATERIALS:
  - A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
  - B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT HAVING AN ORGANIC CONTENT NOT LESS THAN 8% APH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE (1) INCH, WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOS.
  - C. LAWN: ALL DISTURBED AREAS NOT OTHERWISE BUILT UPON SHALL RECEIVE SIX INCH (6") OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
  - D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 7" THICK LAYER OF TRIPLE SHREDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
  - E. FERTILIZER:
    - I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL OPENED STATISTICS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
    - II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - F. PLANT MATERIAL:
    - I. ALL PLANTS SHALL CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSEYMEN).
    - II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES.
    - III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES IN EACH GROUPING FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
    - IV. TREES WITH ABRASIONS OF THE BARK, SUN SCALDS, DISFIGURATIONS OR FRESH CUTS OF LIMBS OVER 1/2" WHICH HAVE NOT COMPLETELY CALLOSED OVER, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BRANCHES.
    - V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL WELL DEVELOPED BRANCHING SYSTEM AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
    - VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING FOUR INCH (4") CALIPER. IF THE CALIPER EXCEEDS FOUR INCHES (4"), THE CALIPER SHALL BE MEASURED AT 12" ABOVE THE NATURAL GRADE.
    - VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
    - VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
    - IX. ALL PLANTS SHALL BE CERTIFIED DISEASE AND PEST FREE.
    - X. SHOULD PLANT MATERIAL BE REJECTED, THE CONTRACTOR SHALL SUBMIT A REQUEST TO THE PROJECT LANDSCAPE ARCHITECT STATING PLANTS TO BE REPLACED, THE REQUESTED SUBSTITUTION (ON SPECIES, VARIETY, SIZE, ETC.) AND THE REASON FOR THE REQUEST. THE LANDSCAPE ARCHITECT SHALL SUBMIT SUCH REQUESTS TO THE MUNICIPAL LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION IF REQUIRED BY THE MUNICIPALITY.
3. GENERAL WORK PROCEDURES:
  - A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
  - B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS, INCLUDING ORGANIC MATERIALS SHALL BE REMOVED COMPLETELY FROM THE SITE. NOTHING SHALL BE BURIED OR BURNED.
4. SITE PREPARATIONS:
  - A. BEFORE AND DURING BOTH PRELIMINARY AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINE HEREIN.
  - B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRED LIME OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS. TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED AT THE END OF EACH DAY. CONTRACTOR SHALL ROOT FEED AND WATER EXISTING TREES AS NEEDED TO PREVENT SHAKING OR DECLINE.
  - C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY TAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION (SEE EROSION & SEDIMENT CONTROL DETAILS)
6. SOIL MODIFICATIONS:
  - A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
  - C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHALL BE REVISED BASED ON TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
    - I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12". USE COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.
    - II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL CYPRESS. COMPOST SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
    - III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. SUBMIT SOIL MODIFICATION PLAN TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO STARTING.
7. FINISHED GRADING:
  - A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL INSTALL TOPSOIL AND COMPLETE FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
  - B. LANDSCAPE CONTRACTOR SHALL VERIFY SUBGRADE PRIOR TO INSTALLATION OF TOPSOIL. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
  - C. ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
  - D. ALL LANDSCAPE AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. STANDING WATER SHALL NOT BE PERMITTED ANYWHERE ON THE SITE.
8. TOPSOIL:
  - A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY LOCAL ORDINANCE, OR CLIENT, IN ALL LANDSCAPE AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
  - B. ON-SITE TOPSOIL SHALL BE AMENDED BASED ON SOIL TESTING PRIOR TO RE-USE. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL LANDSCAPE AREAS. THE pH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
  - C. ALL LANDSCAPE AREAS SHALL BE CULTIVATED TO A DEPTH OF SIX (6") INCHES PRIOR TO SPREADING OF TOPSOIL. ALL DEBRIS EXPOSED BY CULTIVATION SHALL BE DISPOSED OF PER GENERAL WORK PROCEDURES ABOVE. AREA SHALL BE LEVELLED AND LIGHTLY COMPACTED TO THE FINISHED GRADES (MINUS 4"). REMAINING AMENDED TOPSOIL SHALL BE SPREAD, LIGHTLY COMPACTED AND BROUGHT TO FINAL LINES AND GRADES.
  - E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.



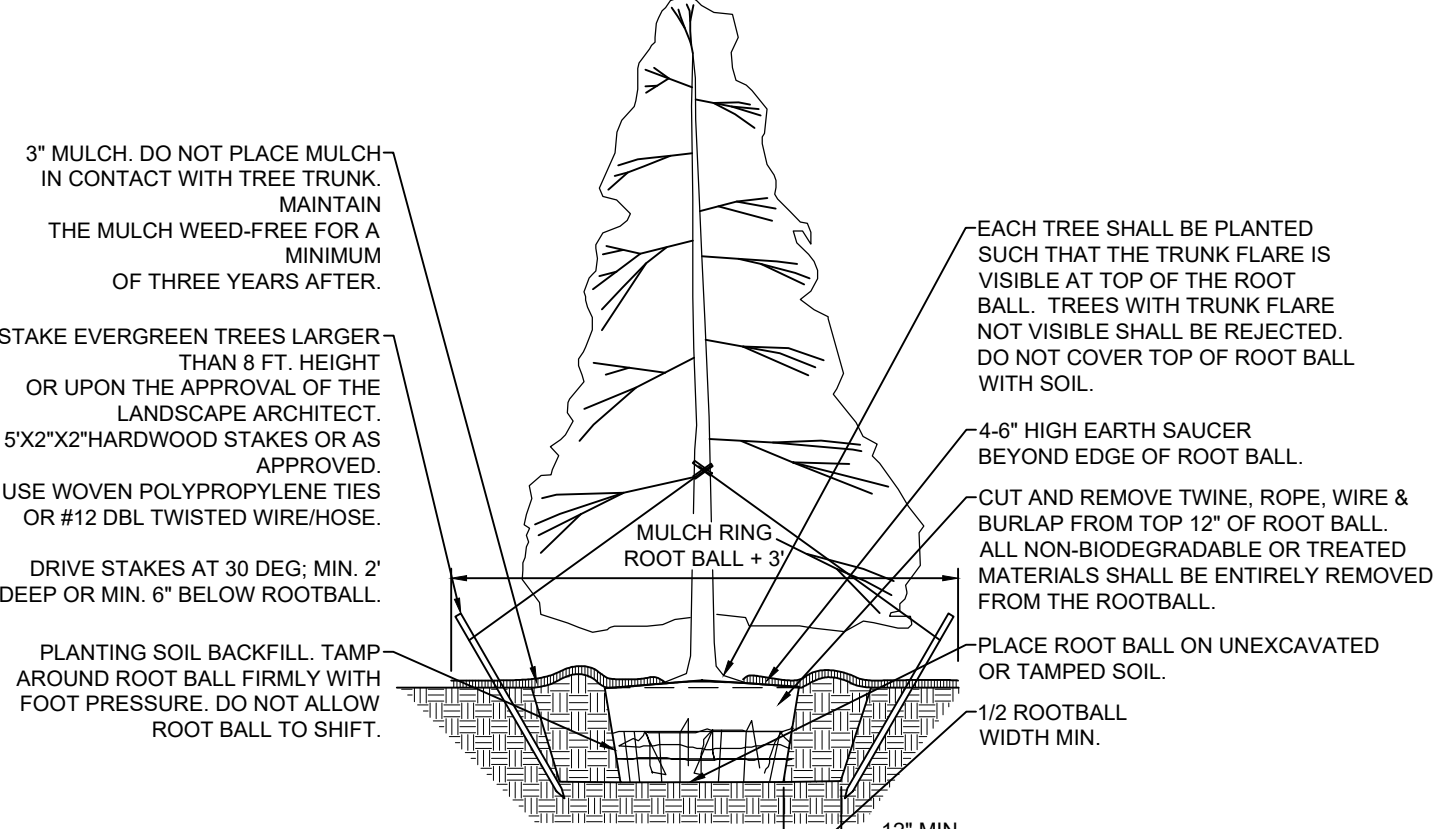
- NOTES:**
1. ALL TREES ARE TO BE STAKED WITH THREE (3) STAKES PLACED EQUILATERALLY AROUND THE TREE.
  2. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGES OF THE ROOT BALL.
  3. ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 0.5" (12MM).
  4. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED.
  5. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

**WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:**

- TREES UP TO 2.5' (65MM) CALIPER - 14 GAUGE
- TREES 2.5' (65MM) TO 3' (75MM) CALIPER - 12 GAUGE

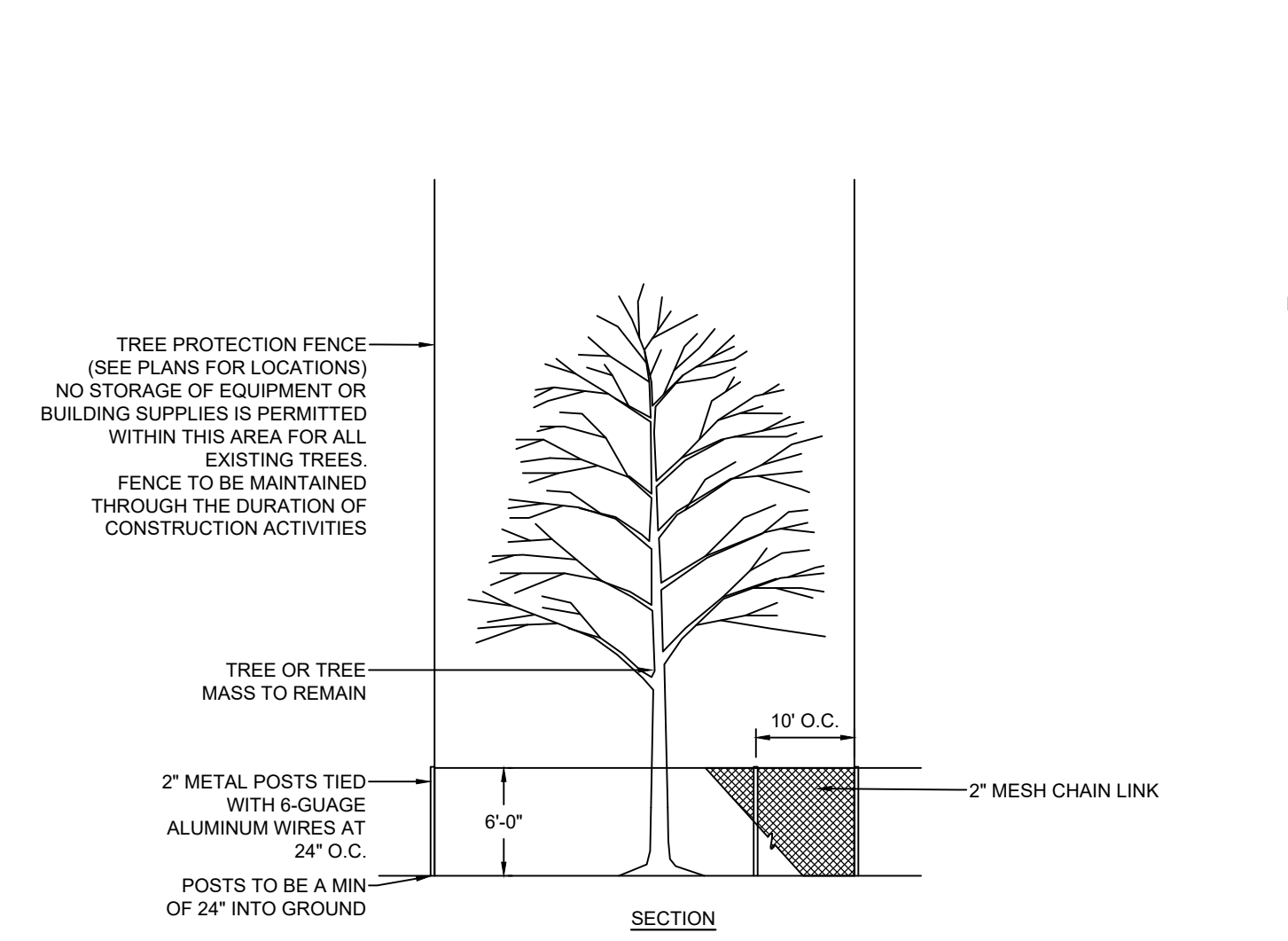
TIGHTEN WIRE OF CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE ENOUGH TO ACCOMMODATE 1.5" (38MM) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

**TREE STAKING DETAIL - TREES 75MM (3 IN.) CALIPER OR LESS**



**EVERGREEN TREE PLANTING DETAIL**

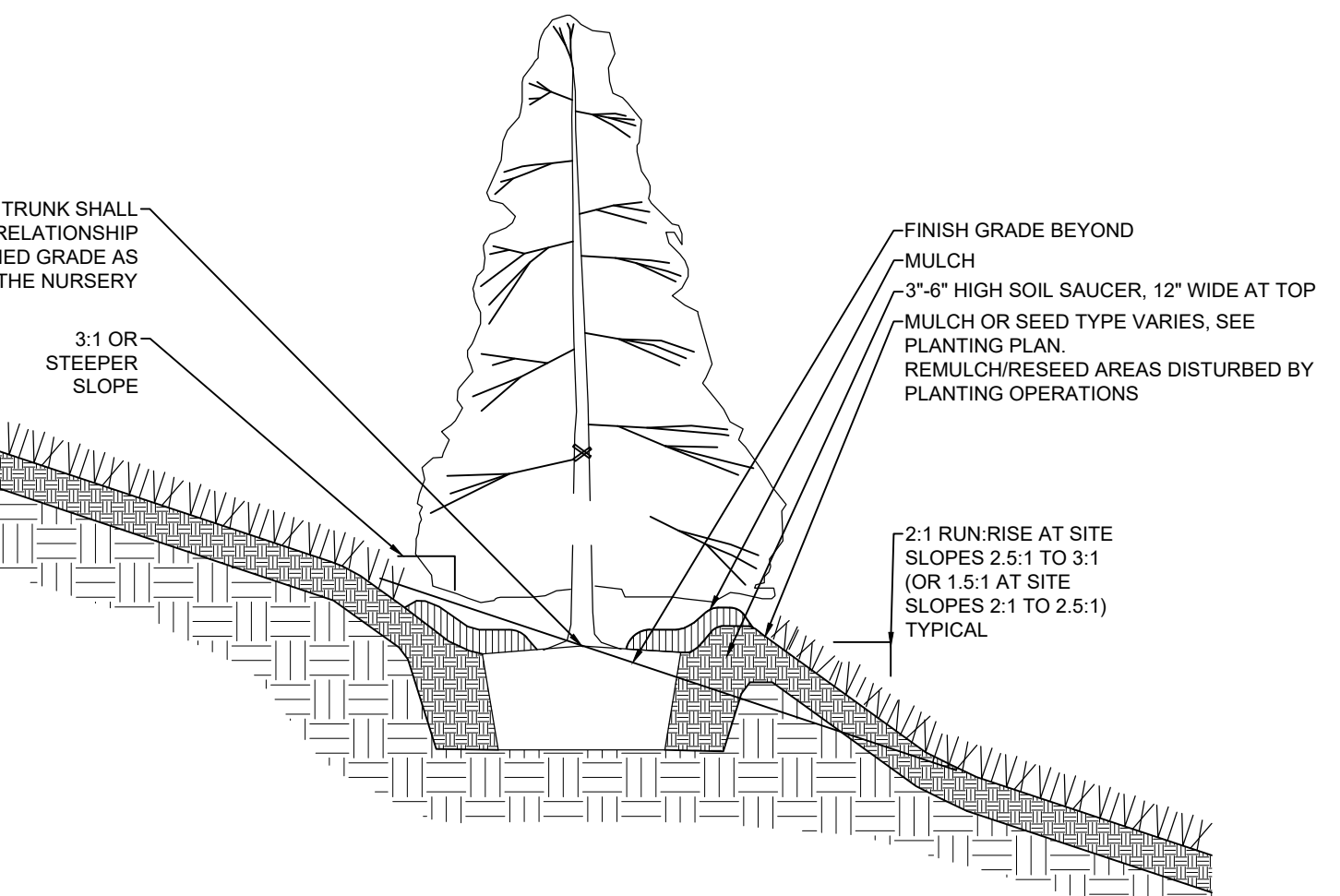
**NOTE:** THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8' SQUARE. OPEN TO THE SKY AND IS NOT COVERED BY ANY PAVING OR GRATING.



**TREE PROTECTION DETAIL**

- TREE PROTECTION SPECIFICATIONS:**
1. PRE-CONSTRUCTION PRUNING:
    - 1.1. SOME TREES MAY REQUIRE LOWER-BRANCH PRUNING TO ALLOW FOR THE OPERATION OF CONSTRUCTION EQUIPMENT. IT MAY BE NECESSARY TO PRUNE TO A HEIGHT OF 15' OR MORE TO ALLOW FOR CLEARANCE OF CONSTRUCTION VEHICLES. TRAINED PERSONNEL SHOULD DO A PRE-CONSTRUCTION PRUNING. ALL WORK PERFORMED BY PRUNING CREWS SHOULD BE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
  2. CONSTRUCTION PERSONNEL NOTIFICATION:
    - 2.1. ALL CONTRACTOR EMPLOYEES, INCLUDING SUPERVISORY PERSONNEL AND ALL SUBCONTRACTORS AND THEIR PERSONNEL, SHOULD BE MADE AWARE THAT THE EXISTING TREES TO BE RETAINED ARE VALUABLE AND NEED TO BE PROTECTED.
  3. TREE PROTECTION ZONE:
    - 3.1. PRIOR TO CONSTRUCTION TREES AND SHRUBS SHALL BE PROTECTED BY 6" HIGH CHAIN LINK FENCING, STAKED EVERY 10' FEET TO ENSURE THAT THERE IS NOT ENCROACHMENT WITHIN THE AREA OF THEIR DRIP LINE BY CHANGING GRADE, TRENCHING, STOCKPIILING OF BUILDING MATERIALS OR TOPSOIL OR THE COMPACTION OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLES, UNLESS THE FOLLOWING REGULATIONS ARE NOT MET:
      - 3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT, EXISTING TREES WHICH HAVE NOT BEEN ADEQUATELY PROTECTED, MAY BE REQUIRED TO BE REMOVED AND REPLACED.
      - 3.1.2. TREE PROTECTION FENCING SHALL BE ESTABLISHED BY ENCOMPASSING THE DIMENSIONS OF EACH ROOT PROTECTION ZONE AS CALCULATED AT 1.25 FEET (RADIUS) PER ONE INCH OF DBH.
  4. TREE WATERING:
    - 4.1. PROVISIONS SHOULD BE MADE TO WATER DESIGNATED TREES DURING PERIOD OF DROUGHTS. PERIODS OF DROUGHT ARE DEFINED AS A TIME WHEN THERE IS LESS THAN 1" OF RAINFALL DURING ANY 30-DAY PERIOD. TREES SHOULD BE WATERED AT A RATE OF 50 GALLONS PER INCH DIAMETER. APPLICATION SHOULD BE MADE SO THAT THE WATER SLOWLY SOAKS INTO THE GROUND AND DOES NOT RUN OFF.
    5. POST-CONSTRUCTION PRUNING:
      - 5.1. SOME TREES MAY BE INADVERTENTLY DAMAGED DURING CONSTRUCTION ACTIVITIES. ALL POST-CONSTRUCTION PRUNING SHOULD BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

**WAIVER:** DUE TO THE LOCATION OF THE EXISTING DRIVEWAYS AND OTHER EXISTING FEATURES, THE LOCATION OF TREE PROTECTION FENCING WILL BE AS SHOWN PER PLAN IN LIEU OF THE REQUIREMENTS SET FORTH IN CHAPTER 55 OF THE TREE PROTECTION STANDARDS.



**EVERGREEN TREE PLANTING ON SLOPE DETAIL**

X:\PROJECTS\2400 - 24690\244304 - Green Valley Country Club Padel Courts\Drawings\Land Development\07-04-Landscape Notes & Details.dwg September 12, 2025

2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Landscape Notes & Details**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

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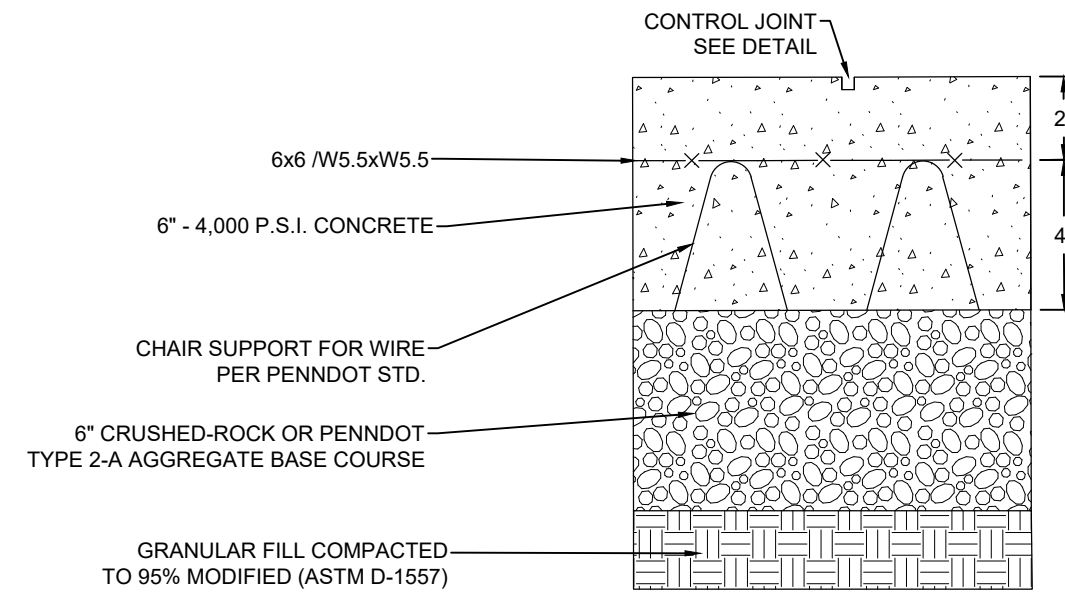
**DRAWN BY** DSC

**CHECKED BY** MJE

**DATE** 04-11-2025

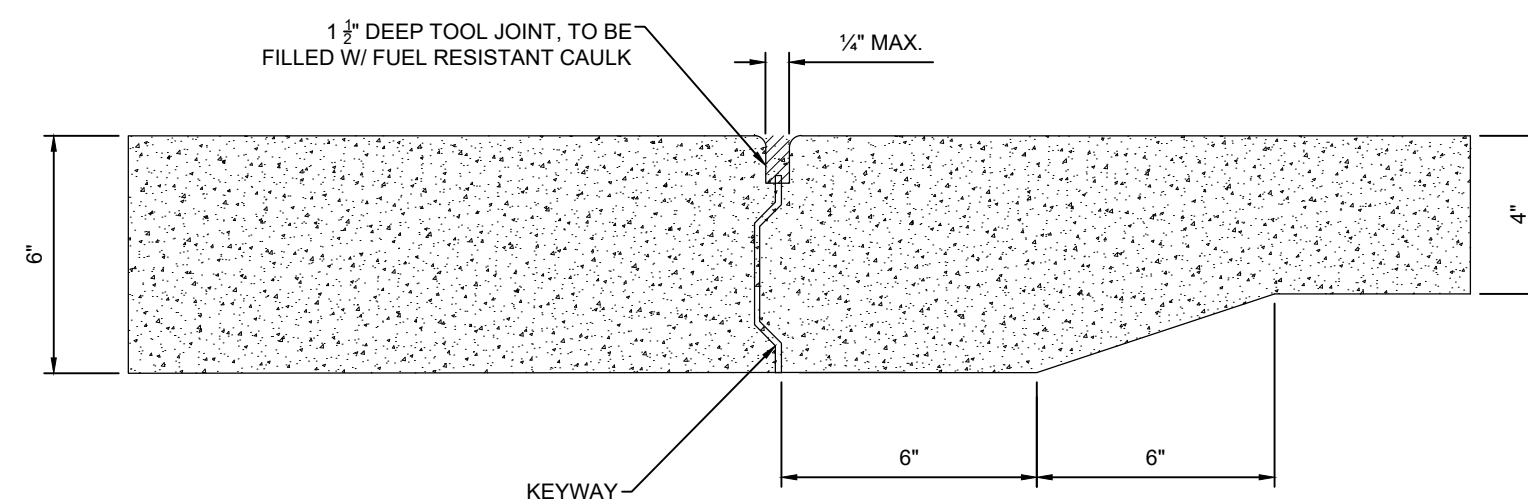
**DRAWING No.** D2443-04-08

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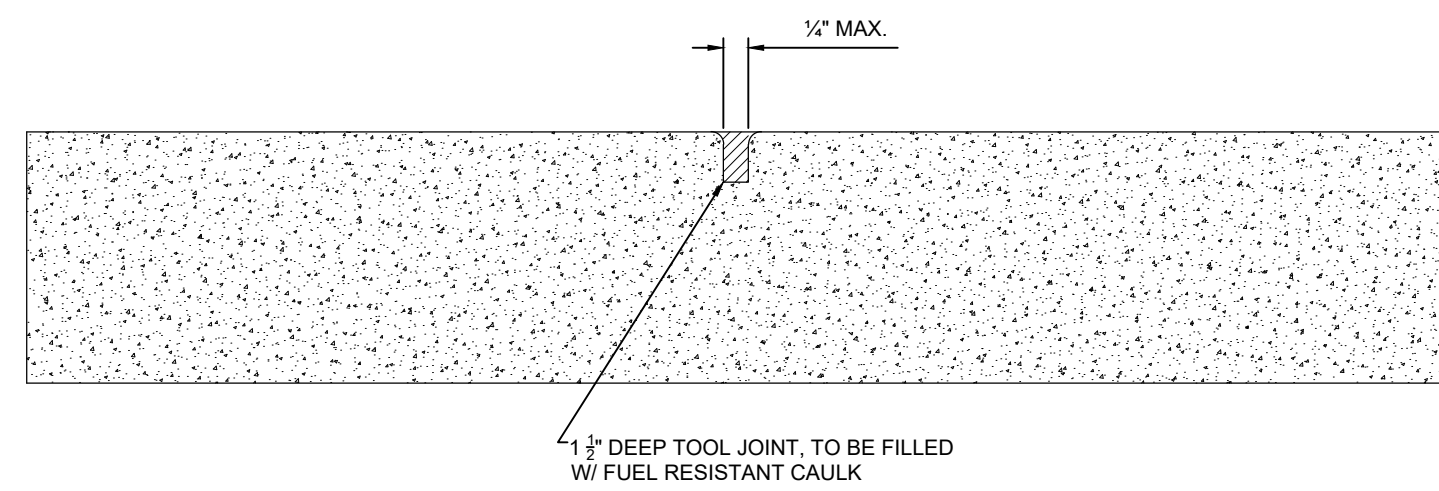


1. MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT SPECIFICATIONS OF THE PENNDOT FORM 408.
2. 1" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED EVERY 40 L.F. AND WHERE THE CONCRETE APRON ABUTS A CURB, BUILDING WALL OR PERMANENT STRUCTURE.
3. CONTROL JOINTS TO BE PLACED EVERY 20 L.F.
4. CONTRACTOR SHALL SUBMIT PATTERN AND COLOR SAMPLES OF STAMPED CONCRETE FOR OWNER APPROVAL.

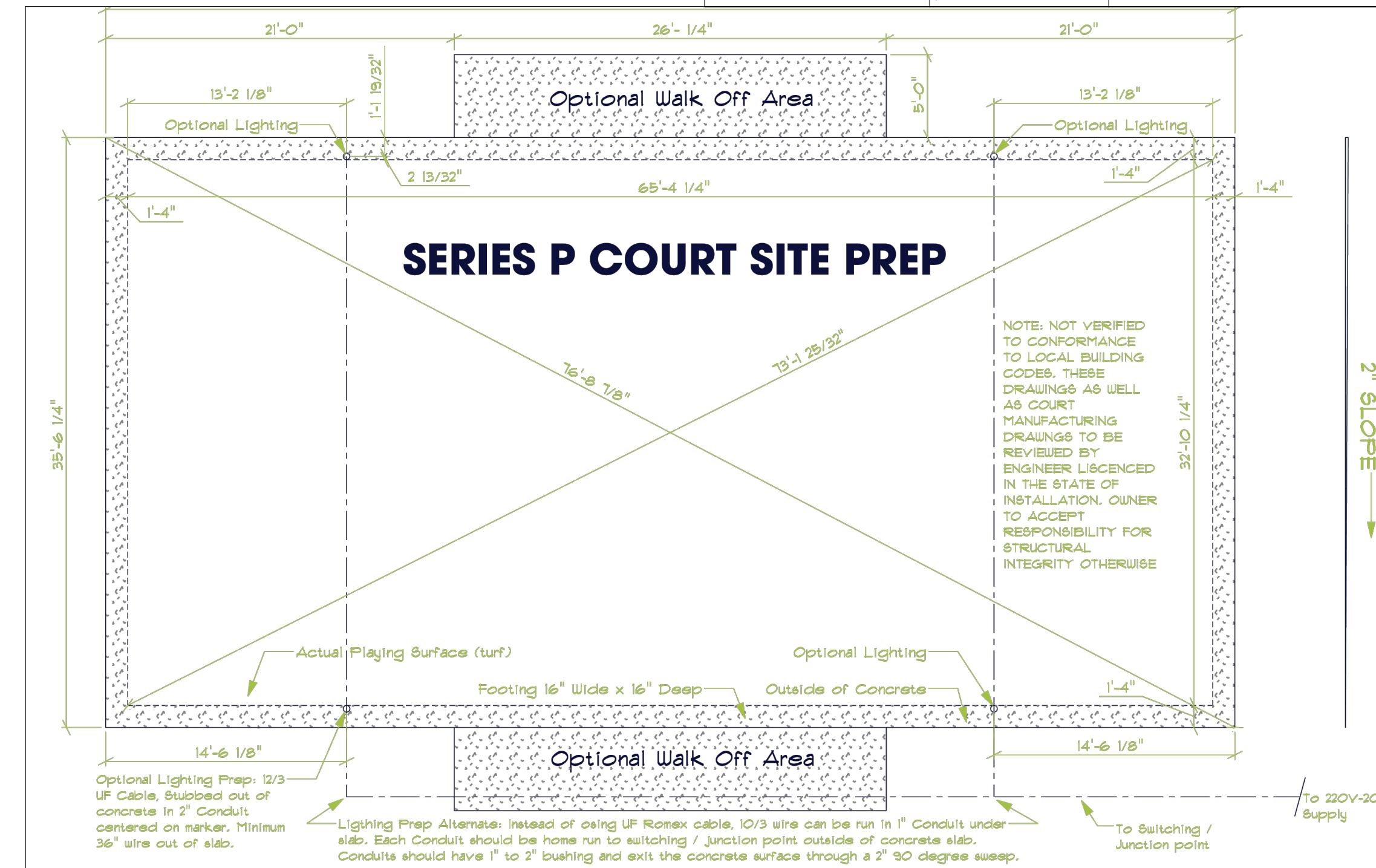
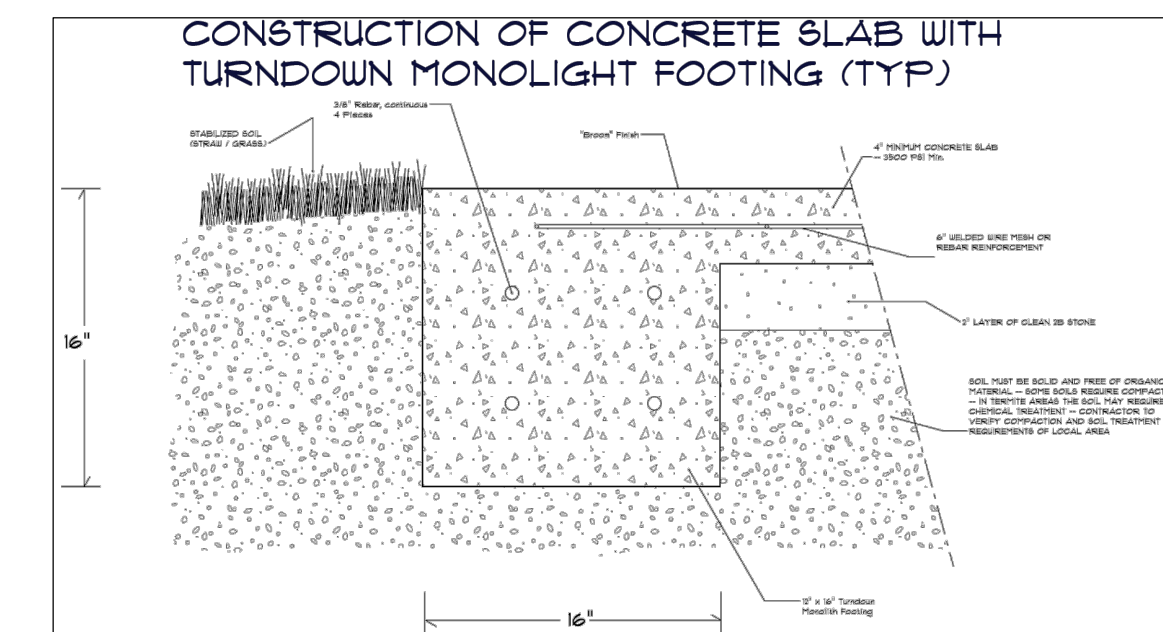
**REINFORCED CONCRETE PAD DETAIL**  
N.T.S.



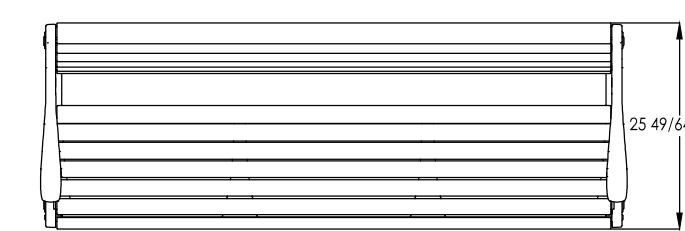
**CONSTRUCTION JOINT DETAIL**  
N.T.S.



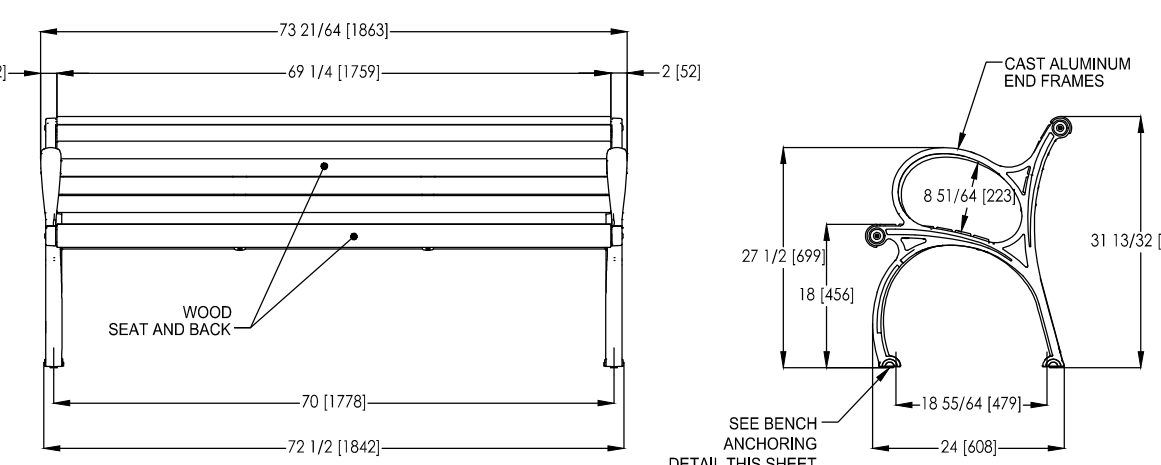
**CONTROL JOINT DETAIL**  
N.T.S.



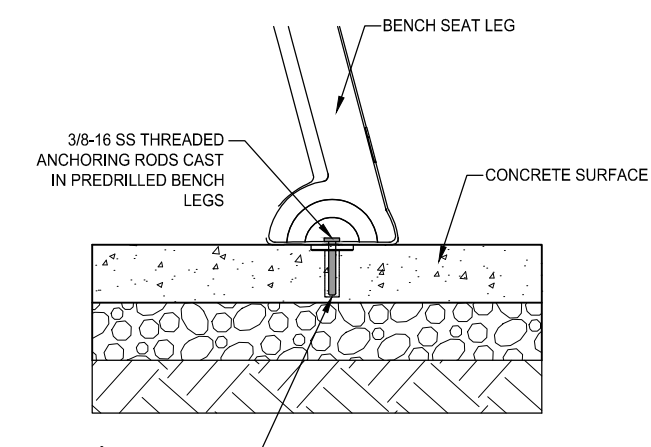
**PADEL COURT DETAILS**  
N.T.S.



- NOTE:
1. SURFACE MOUNT OPTION
  2. CORROSION-RESISTANT ANCHORING
  3. HARDWARE SUPPLIED BY OTHERS.
  4. 1/32" HOLES WITH COUNTERBORES PROVIDED FOR SOCKET HEAD CAP SCREWS.



**72" BENCH DETAIL**  
N.T.S.



**BENCH ANCHORING DETAIL**  
N.T.S.

2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Construction Details**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

MARTIN J. EUSTACE, III  
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Fax: (215) 346-8759  
www.eustaceeng.com

*Martin J. Eustace, III*  
Martin J. Eustace, III, P.E.  
PA Lic. PE048891E

DRAWN BY	DSC
CHECKED BY	MJE
DATE	04-11-2025
DRAWING No.	D 2443-04 09



September 18, 2025

File No. 2025-00205

Mr. Craig T. McAnally, Township Manager  
Whitemarsh Township Municipal Building  
616 Germantown Pike  
Lafayette Hill, PA 19444

Reference: Request for Waiver of Land Development  
Green Valley Country Club  
201 Ridge Pike  
Whitemarsh Township, Montgomery County, Pennsylvania  
SLD #01-25

Dear Mr. McAnally:

We are in receipt of a revised application including an 11 Sheet Plan set prepared by Eustace Engineering, regarding the above referenced project and dated April 11, 2025, and last revised September 12, 2025, requesting that the Township consider granting a waiver of Land Development for the proposed project. As requested, we have reviewed the plans for the property submitted by the applicant, which show the proposed site work. Following a cursory technical review of the above-mentioned documents, we recommend the granting of a waiver of the Land Development process. The plans will be reviewed for compliance with Chapter 58, 'Grading, Erosion Control and Stormwater Management' as part of the Earth Disturbance Permit Application. Should you have any questions regarding this matter, please do not hesitate to contact me at this office.

Sincerely,

Krista Heinrich, P.E.  
Township Engineer  
Gilmore & Associates, Inc.

KH/sl

cc: Mr. Charles L. Guttenplan, AICP – Director of Planning and Zoning  
Mr. Sean Kilkenny, Esq.; The Law Offices of Sean Kilkenny, LLC – Township Solicitor (*via email*)

O:\MUNICIPAL\2025\2500205-WshT\_201 Ridge Pike (GVCC) - SLD 01-25\correspondence\SLD Waiver Req.doc



*Whitemarsh* TOWNSHIP

616 GERMANTOWN PIKE - LAFAYETTE HILL, PA 19444-1821  
TEL: 610-825-3535 FAX: 610-825-9416  
[www.whitemarshwp.org](http://www.whitemarshwp.org)

BOARD of SUPERVISORS

Jacy Toll – Chair  
Fran McCusker– Vice Chair  
Vincent Manuele  
Elizabeth Moy  
Patrice Turenne

---

Craig T. McAnally  
Township Manager

November 5, 2025

Green Valley Country Club  
c/o Harry Ginther  
201 Ridge Pike  
Lafayette Hill, PA 19444

**RE: SLD# 01-25 (R1) / 201 Ridge Pike  
Land Development Waiver Request for Pole Barn and Padel Courts  
Zoning Ordinance Compliance Review Letter**

Dear Mr. Ginther:

Please accept this as a review of the Zoning Ordinance Compliance issues for your above referenced Land Development Waiver Request, based on plans prepared by Eustace Engineering dated April 11, 2025 with a revision date of September 12, 2025.

The plans propose to complete two separate projects. The first is to remove the existing 2,360-square foot barn and replace it with a 2,592-square foot pole barn. The second is to create two padel ball courts, impacting approximately 11,760 square feet of the property; a concrete walkway and shade areas are proposed in conjunction with the padel courts. The site is zoned A- Residential with a Recreational Overlay over the entire property. The Recreational Overlay District governs, given the property's recreational use.

**Previous Plan Review**

We reviewed the pole barn when it was submitted for a grading permit on November 8, 2024. On August 7, 2024, The Zoning Hearing Board (ZHB# 2024-33) granted a variance from §116-183.A(2) to allow the front yard setback requirement for the pole barn to be 75' from Germantown Pike, whereas 150' is required.

The original land development waiver request for the pole barn and padel courts was approved by the Board of Supervisors on April 10, 2025. The reason for this submission, for a revised land development waiver, is because the location of the padel courts has changed. Originally, the four outdoor tennis courts were to remain and the padel court installation was to be behind the set of three tennis courts. In the current submission, the one separate tennis court (fourth court) is proposed to be removed and replaced with the two padel courts. While the pole barn is still part of the plan, its location has not changed and it has received the necessary permits for its installation and has been installed. For details on its specific location and other plan details, please refer to earlier plans prepared by Eustace Engineering entitled, 'Grading Permit Plans; Green Valley Country Club – Pole Barn' dated November 7, 2024, revised April 18, 2025.

There are no zoning issues noted with the current submission for a Land Development Waiver Request; all zoning comments noted with the initial Land Development Waiver Request have been satisfactorily addressed.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Charles L. Guttenplan, AICP  
Director of Planning and Zoning/Zoning Officer

cc: Craig T. McAnally, Township Manager  
Robert A. Sztubinski, B.C.O., Director of Building and Codes  
Andrew Thomas, Township Fire Marshal  
Sean P. Kilkenny, Esq., Township Solicitor  
Krista Heinrich, P.E., Township Engineer  
Darrell Campana, P.E., Applicant's Engineer

**Current Plans  
(as referenced in Draft Resolution)**

***LAND DEVELOPMENT PLANS  
GREEN VALLEY COUNTRY CLUB - PADEL COURTS  
201 RIDGE PIKE, LAFAYETTE HILL, PA- WHITEMARSH TOWNSHIP***

*prepared for  
GREEN VALLEY COUNTRY CLUB*

*prepared by*



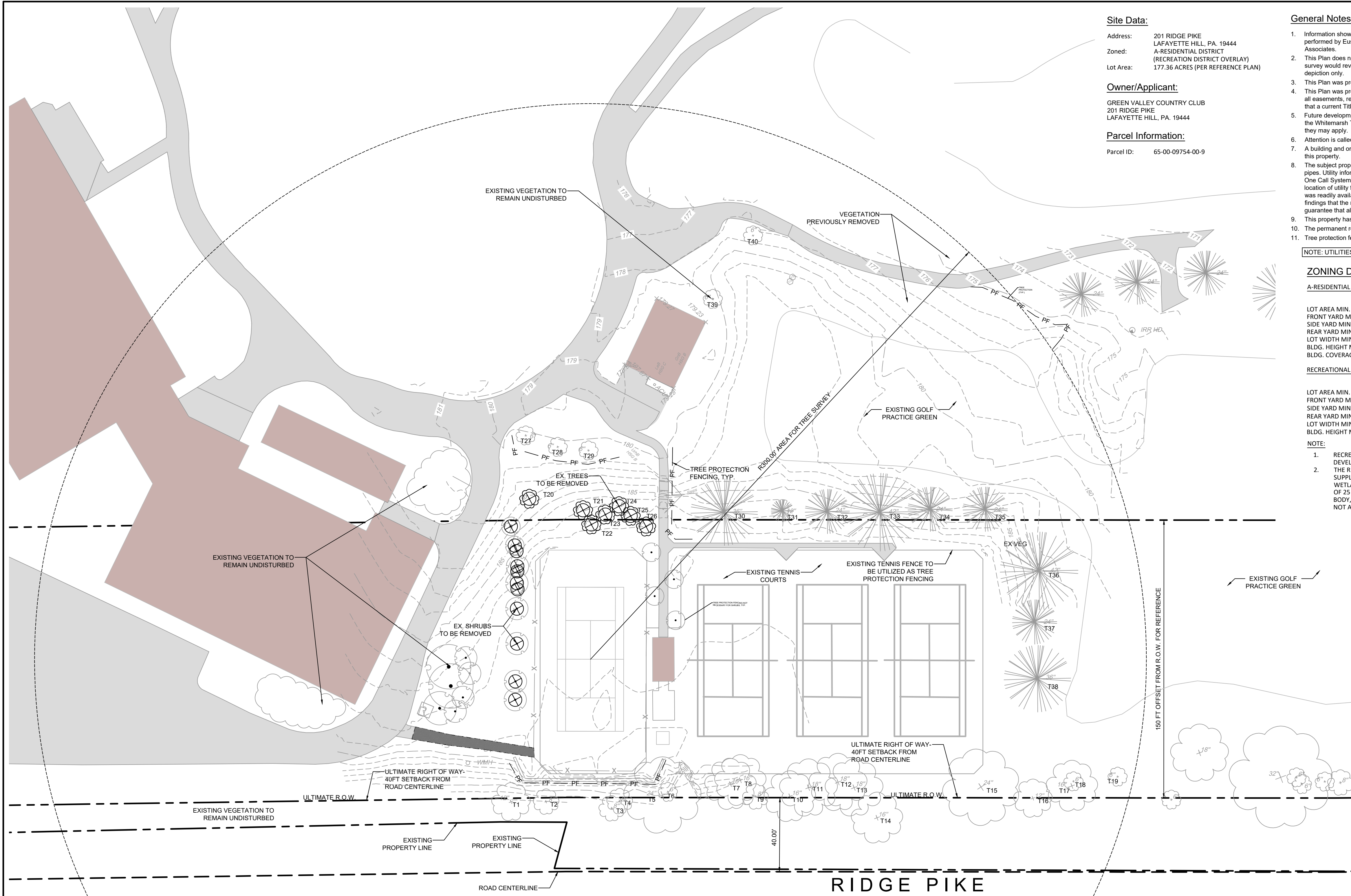
607 Easton Road  
Building B - 2nd Floor  
Willow Grove, PA 19090

Tel: (215) 346-8757  
Fax: (215) 346-8759  
www.eustaceeng.com

PLAN INDEX

DRAWING NO.	SHEET NO.	NAME	DATE	LAST REVISED
D 2443 04 00	0 OF 10	COVER SHEET	04-11-25	11-08-25
D 2443 04 01	1 OF 10	OVERALL LOCATION MAP- PADEL & POLE BARN	04-11-25	11-08-25
D 2443 04 01	2 OF 10	OVERALL EXISTING CONDITIONS PLAN	04-11-25	11-08-25
D 2443 04 02	3 OF 10	EXISTING CONDITIONS & DEMOLITION PLAN	04-11-25	11-08-25
D 2443 04 03	4 OF 10	GRADING & UTILITIES PLAN	04-11-25	11-08-25
D 2443 04 04	5 OF 10	LAYOUT & MATERIALS PLAN	04-11-25	11-08-25
D 2443 04 05	6 OF 10	EROSION & SEDIMENT CONTROL PLAN	04-11-25	11-08-25
D 2443 04 06	7 OF 10	EROSION & SEDIMENT CONTROL DETAILS	04-11-25	11-08-25
D 2443 04 07	8 OF 10	LANDSCAPE PLAN	04-11-25	11-08-25
D 2443 04 08	9 OF 10	LANDSCAPE NOTES & DETAILS	04-11-25	11-08-25
D 2443 04 09	10 OF 10	CONSTRUCTION DETAILS	04-11-25	11-08-25

X:\PROJECTS\2400 - 24699\2443\04 - Green Valley Country Club Padel BallDRAWINGS\Land Development\01 4-existing conditions plan.dwg November 11, 2025



**Site Data:**  
 Address: 201 RIDGE PIKE, LAFAYETTE HILL, PA. 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9

**General Notes:**

- Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace engineering and supplemental Lidar information from Chambers and Associates.
- This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
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- This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
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- This property has access to Ridge Pike as shown hereon and is a public roadway.
- The permanent removal of topsoil from land within the Township is prohibited.
- Tree protection fencing must be installed prior to the start of any work product.

NOTE: UTILITIES IN PROJECT AREA ARE TO BE REMOVED OR RELOCATED AS NEEDED.

**ZONING DATA:**

**A-RESIDENTIAL DISTRICT:**

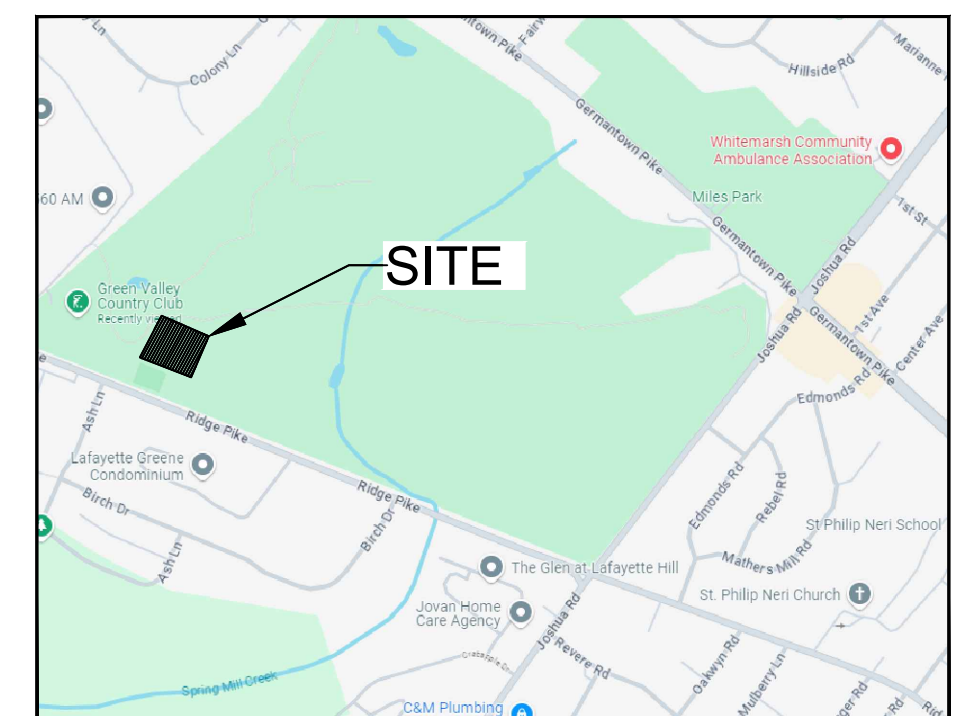
REQUIRED:	PROVIDED:
LOT AREA MIN. 15,000 SF	177.36 AC
FRONT YARD MIN. 40'	N/A
SIDE YARD MIN. 15'; AGGR. 40'	N/A
REAR YARD MIN. 40'	N/A
LOT WIDTH MIN. 90'	N/A
BLDG. HEIGHT MAX. PRINCIPLE = 35' / ACCESSORY = 20'	N/A
BLDG. COVERAGE MAX. 20%	N/A

**RECREATIONAL DISTRICT OVERLAY SECTION 116-177:**

REQUIRED:	EXISTING:	PROVIDED:
LOT AREA MIN. 60 AC	177.36 AC	177.36 AC
FRONT YARD MIN. 150'	N/A	N/A
SIDE YARD MIN. 100'	N/A	N/A
REAR YARD MIN. 100'	N/A	N/A
LOT WIDTH MIN. 500'	3,388'	3,388'
BLDG. HEIGHT MAX. 40'	N/A	N/A

**NOTE:**

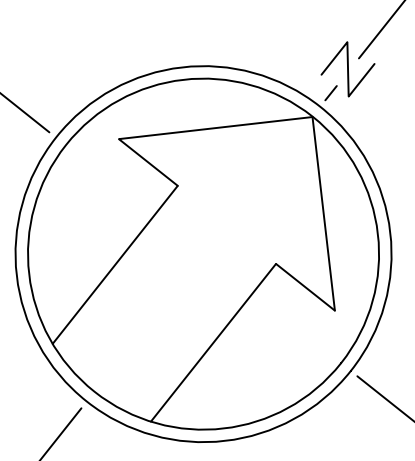
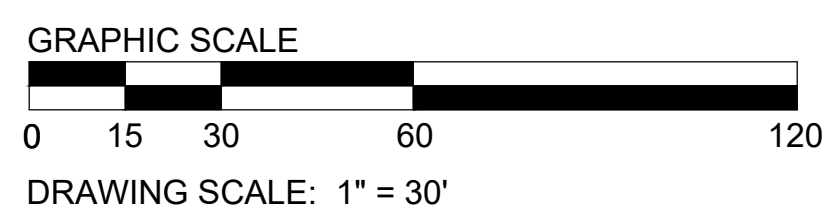
- RECREATIONAL DISTRICT OVERLAY DISTRICT GOVERNS THE PROPOSED DEVELOPMENT.
- THE RIPARIAN CORRIDOR CONSERVATION DISTRICT SHALL SERVE AS A SUPPLEMENT TO THE UNDERLYING DISTRICT PROVISIONS. FOR WETLANDS AND WATER BODIES, ZONE 1 SHALL BE A MINIMUM WIDTH OF 25 FEET FROM THE OUTER EDGE OF THE WETLAND OR WATER BODY, MEASURED PERPENDICULAR TO THE EDGE AND ZONE 2 DOES NOT APPLY. SEE OVERALL LOCATION MAP.



**Location Map**  
 Scale: 1" = 1000'

**Legend**

	Property Line
	Right-of-Way Line
	Setback Line
	Existing Building
	Existing Asphalt Paving
	Existing Curb
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Spot Grade
	Existing Sign
	Existing Light Pole
	Existing Utility Pole
	Existing Utility Valve
	Existing Manhole
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree
	Existing Shrub
	Existing Storm Line



**Existing Tree Inventory**

No.	Size (in):	Notes:	Species:	No.	Size (in):	Notes:	Species:	No.	Size (in):	Notes:	Species:
1	12	To Remain	Acer saccharum	19	6	To Remain	Acer saccharum	37	24	To Remain	Pinus strobus
2	8	To Remain	Acer saccharum	20	6	TER	Cercis canadensis	38	36	To Remain	Pinus strobus
3	8	To Remain	Acer saccharum	21	6	TER	Viburnum dentatum	39	6	To Remain	Lagerstroemia indica
4	8	To Remain	Acer saccharum	22	6	TER	Viburnum dentatum	40	6	To Remain	Prunus serotina 'Kwanzan'
5	24	To Remain	Fraxinus americana	23	6	TER	Viburnum dentatum				
6	6	To Remain	Fraxinus americana	24	6	TER	Viburnum dentatum				
7	16	To Remain	Maclura pomifera	25	6	TER	Viburnum dentatum				
8	16	To Remain	Maclura pomifera	26	6	TER	Viburnum dentatum				
9	8	To Remain	Acer saccharum	27	6	To Remain	Acer tataricum subsp. Ginnala				
10	16	To Remain	Maclura pomifera	28	6	To Remain	Acer tataricum subsp. Ginnala				
11	18	To Remain	Maclura pomifera	29	6	To Remain	Acer tataricum subsp. Ginnala				
12	18	To Remain	Maclura pomifera	30	36	To Remain	Pinus strobus				
13	18	To Remain	Maclura pomifera	31	12	To Remain	Picea				
14	16	To Remain	Maclura pomifera	32	24	To Remain	Pinus strobus				
15	24	To Remain	Fraxinus americana	33	42	To Remain	Pinus strobus				
16	12	To Remain	Acer saccharum	34	24	To Remain	Pinus strobus				
17	16	To Remain	Acer saccharum	35	24	To Remain	Pinus strobus				
18	6	To Remain	Acer saccharum	36	42	To Remain	Pinus strobus				



**Act 287**

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**

MARTIN EUSTACE, ON THIS DATE 11/11/2025, HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58.

"GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES"

**Overall Ex Conditions Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

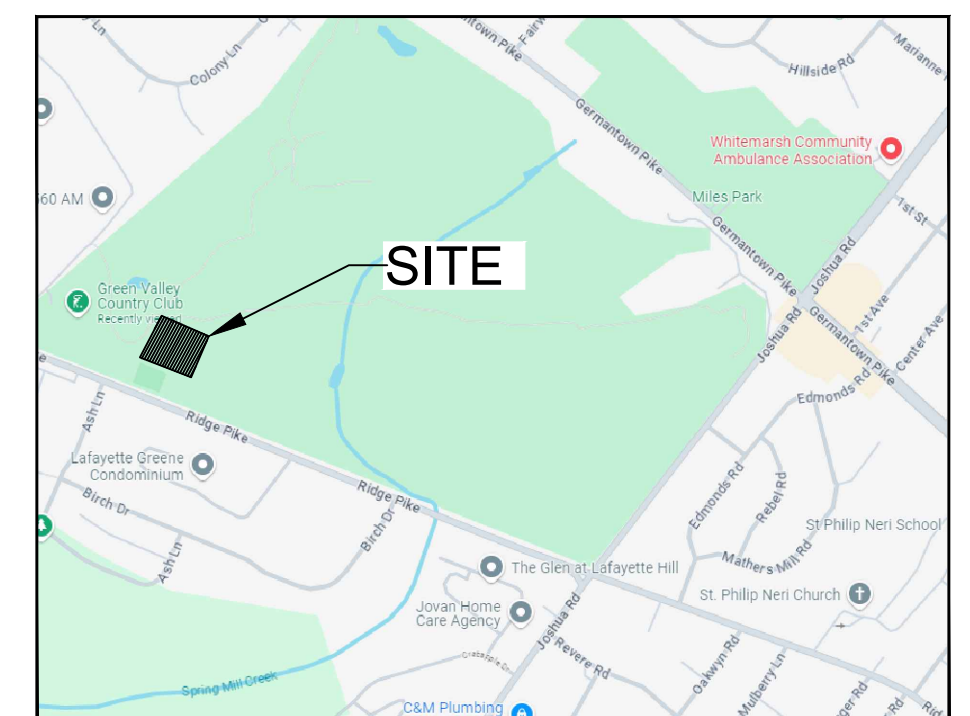
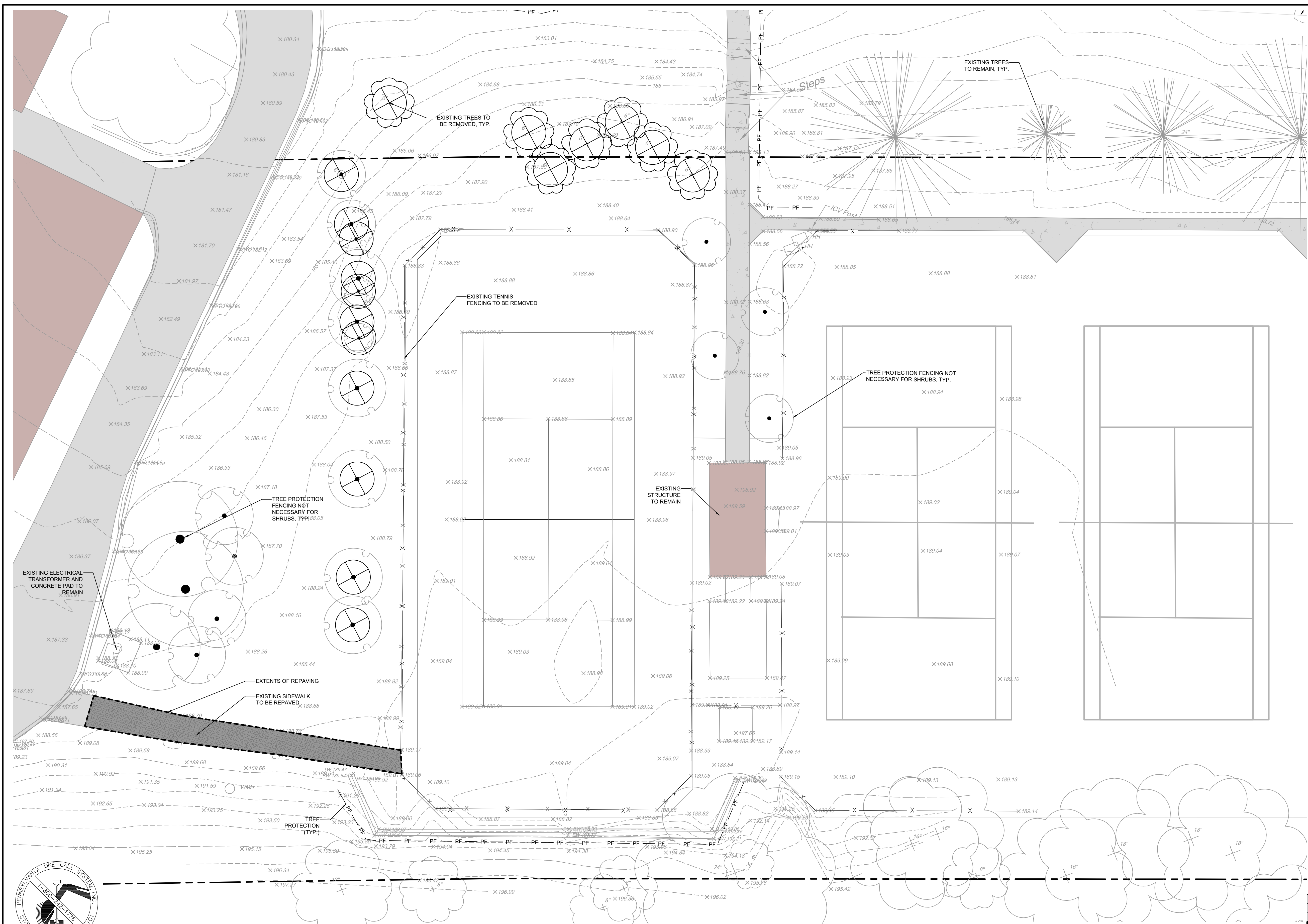
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2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**EUSTACE**  
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

MARTIN J. EUSTACE, III  
 307 Easton Road  
 Building B - 2nd Floor  
 Willow Grove, PA 19090  
 Tel: (215) 346-8757  
 Fax: (215) 346-8759  
 www.eustaceeng.com

DRAWN BY: DSC  
 CHECKED BY: MJE  
 DATE: 04-11-2025  
 DRAWING No: D 2443-04 01

X:\PROJECTS\2400 - 24690\243104 - Green Valley Country Club Padel Drawings\Land Development\01 Existing Conditions plan.dwg November 11, 2025



Location Map  
Scale: 1" = 1000'

**Legend**

	Property Line
	Right-of-Way Line
	Setback Line
	Existing Building
	Existing Asphalt Paving
	Existing Curb
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Spot Grade
	Existing Sign
	Existing Light Pole
	Existing Utility Pole
	Existing Utility Valve
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	Existing Storm Line

NOTE: UTILITIES IN PROJECT AREA ARE TO BE REMOVED OR RELOCATED AS NEEDED.

**Site Data:**  
 Address: 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9

**ZONING DATA:**

A-RESIDENTIAL DISTRICT:

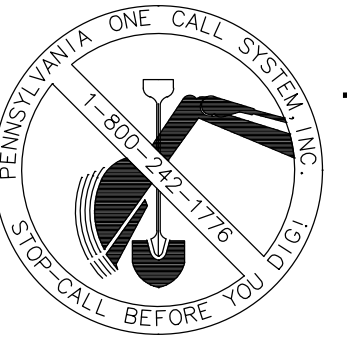
LOT AREA MIN.	REQUIRED:	15,000 SF
FRONT YARD MIN.	40'	
SIDE YARD MIN.	15'; AGGR. 40'	
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SIDE YARD MIN.	150'	N/A	N/A
REAR YARD MIN.	100'	N/A	N/A
LOT WIDTH MIN.	100'	N/A	N/A
BLDG. HEIGHT MAX.	500'	3.388'	3.388'

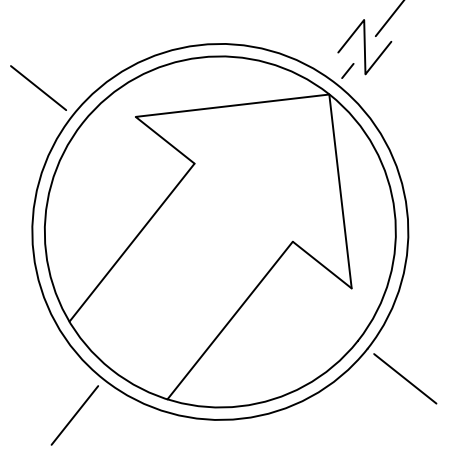
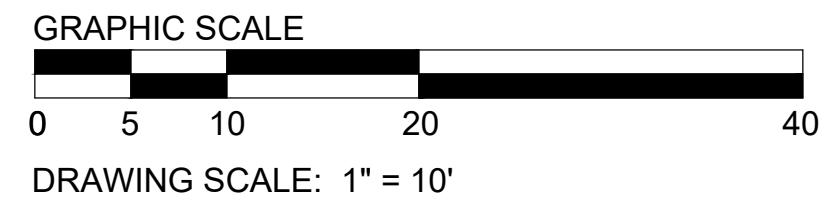
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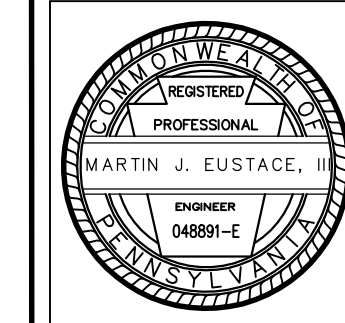
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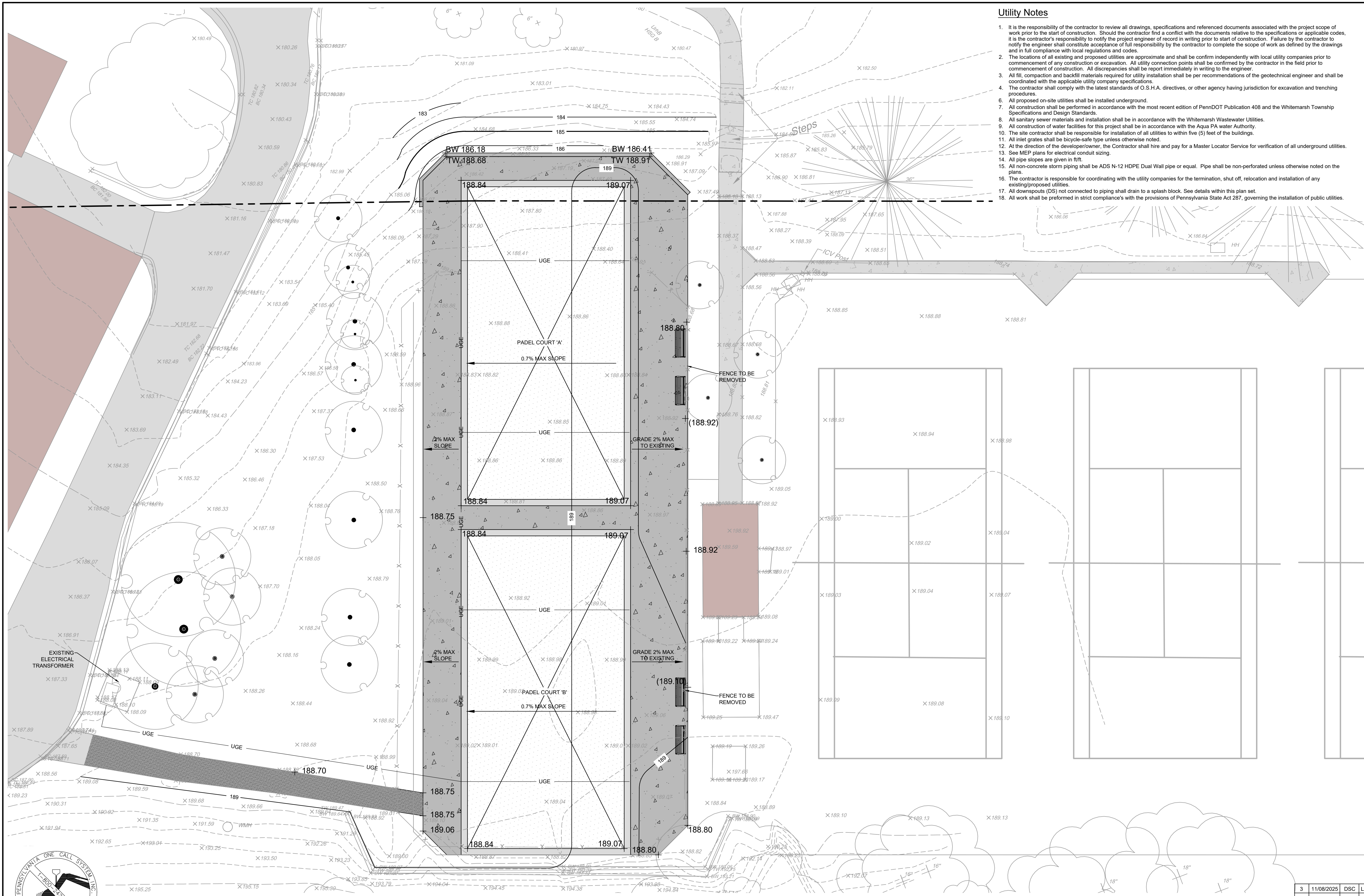
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**Existing Conditions & Demolition Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP



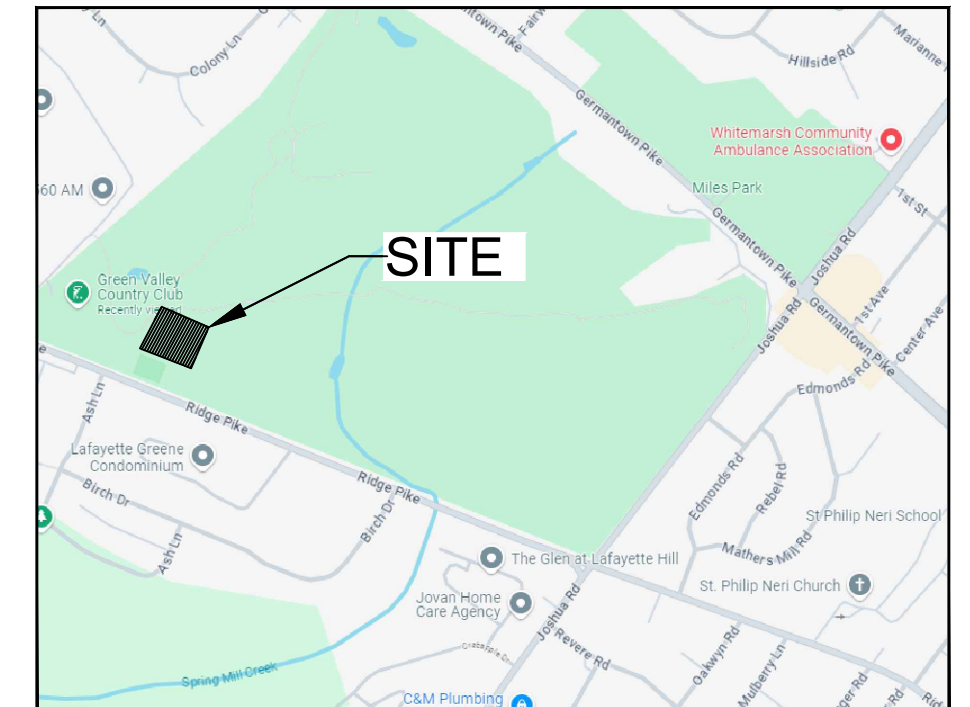
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DRAWN BY: DSC  
 CHECKED BY: MJE  
 DATE: 04-11-2025  
 DRAWING No: D 2443-04 02



Utility Notes

- 1. It is the responsibility of the contractor to review all drawings, specifications and referenced documents associated with the project scope of work prior to the start of construction. Should the contractor find a conflict with the documents relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full compliance with local regulations and codes.
2. The locations of all existing and proposed utilities are approximate and shall be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility connection points shall be confirmed by the contractor in the field prior to commencement of construction. All discrepancies shall be reported immediately in writing to the engineer.
3. All fill, compaction and backfill materials required for utility installation shall be per recommendations of the geotechnical engineer and shall be coordinated with the applicable utility company specifications.
4. The contractor shall comply with the latest standards of O.S.H.A. directives, or other agency having jurisdiction for excavation and trenching procedures.
5. All proposed on-site utilities shall be installed underground.
6. All construction shall be performed in accordance with the most recent edition of PennDOT Publication 408 and the Whitmarsh Township Specifications and Design Standards.
7. All sanitary sewer materials and installation shall be in accordance with the Whitmarsh Wastewater Utilities.
8. All construction of water facilities for this project shall be in accordance with the Aqua PA water Authority.
9. The site contractor shall be responsible for installation of all utilities to within five (5) feet of the buildings.
10. All inlet grates shall be bicycle-safe type unless otherwise noted.
11. At the direction of the developer/owner, the Contractor shall hire and pay for a Master Locator Service for verification of all underground utilities.
12. See MEP plans for electrical conduit sizing.
13. All pipe slopes are given in ft/ft.
14. All non-concrete storm piping shall be ADS N-12 HDPE Dual Wall pipe or equal. Pipe shall be non-perforated unless otherwise noted on the plans.
15. The contractor is responsible for coordinating with the utility companies for the termination, shut off, relocation and installation of any existing/proposed utilities.
16. All downspouts (DS) not connected to piping shall drain to a splash block. See details within this plan set.
17. All work shall be performed in strict compliance with the provisions of Pennsylvania State Act 287, governing the installation of public utilities.
18. All work shall be performed in strict compliance with the provisions of Pennsylvania State Act 287, governing the installation of public utilities.



Location Map Scale: 1" = 1000'

Legend

- Existing Building
Existing Asphalt Paving
Existing Concrete
Existing Brick Paving
Existing Contour
Existing Index Contour
Existing Sign
Existing Treeline
Existing Evergreen Tree and Deciduous Tree
Proposed Sidewalk
Proposed Asphalt
Proposed Contour
Proposed Index Contour
Proposed Spot Grade
Soil Boundary
Proposed Electric Line
Proposed Landscape area
Proposed Padel Court
Proposed Trees & Shrubs
Existing Shrub

Site Data:

Address: 201 RIDGE PIKE LAFAYETTE HILL, PA 19444
Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)
Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

Owner/Applicant:

GREEN VALLEY COUNTRY CLUB
201 RIDGE PIKE
LAFAYETTE HILL, PA 19444

Parcel Information:

Parcel ID: 65-00-09754-00-9

GRAPHIC SCALE



DRAWING SCALE: 1" = 10'

General Notes:

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- 9. Contractor responsible for all electrical connections. Coordinate with client if proposed electrical connection does not meet requirements.
10. This property has access to Ridge Pike as shown hereon and is a public roadway.
11. Existing features on adjoining properties and roadways are shown in limited detail. If future development of this warrants the involvement of adjoining properties and roadways, additional details may have to be obtained within those areas.
12. Precision of information when originally established and typographical errors in legal documentation may result in fractional difference between what is shown on this plan and the recorded information.

OWNER: I, Martin J. Eustace, III, on this date 09/11/2025, acknowledge that any revision to the approved stormwater BMP fixtures must be approved by the Municipality.

DESIGN ENGINEER: I, Martin J. Eustace, III, on this date 09/11/2025, has reviewed and certifies that the stormwater management site plan meets all design standards and criteria of Chapter 58, 'Grading, Erosion Control, Stormwater Management and Best Management Practices'.

ZONING DATA TABLE with columns for DESCRIPTION, REQUIRED, EXISTING, and PROPOSED. Includes details for lot area, lot width, front yard, side yard, rear yard, maximum building coverage, maximum building height, and parking requirements.

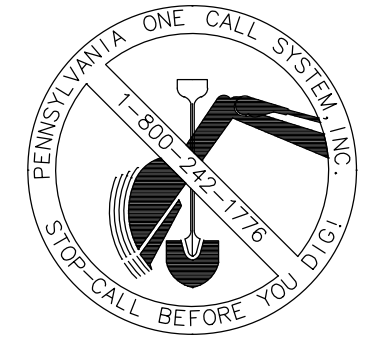
ZONING DATA TABLE with columns for DESCRIPTION and REQUIRED. Includes details for lot area, lot width, front yard, side yard, rear yard, maximum building coverage, and maximum building height.

PROPOSED CONCRETE AREA = 3,209 S.F.
PROPOSED PADEL BALL COURTS = 4,850 S.F.
INCREASE IN IMPERVIOUS COVERAGE = 1,389 S.F.

NOTE: UTILITIES IN PROJECT AREA ARE TO BE REMOVED OR RELOCATED AS NEEDED.

Revision table with columns for number, date, description, and initials. Includes revisions for Land Development Resubmission.

Project title block for 'Grading & Utilities Plan GREEN VALLEY COUNTRY CLUB PADEL COURTS'. Includes client information, drawing title, scale, and drawing number (SHEET 4 OF 10).

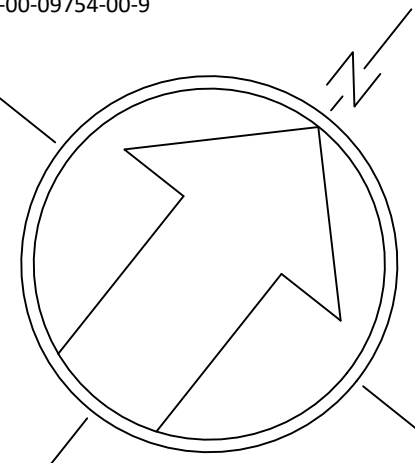


Act 287

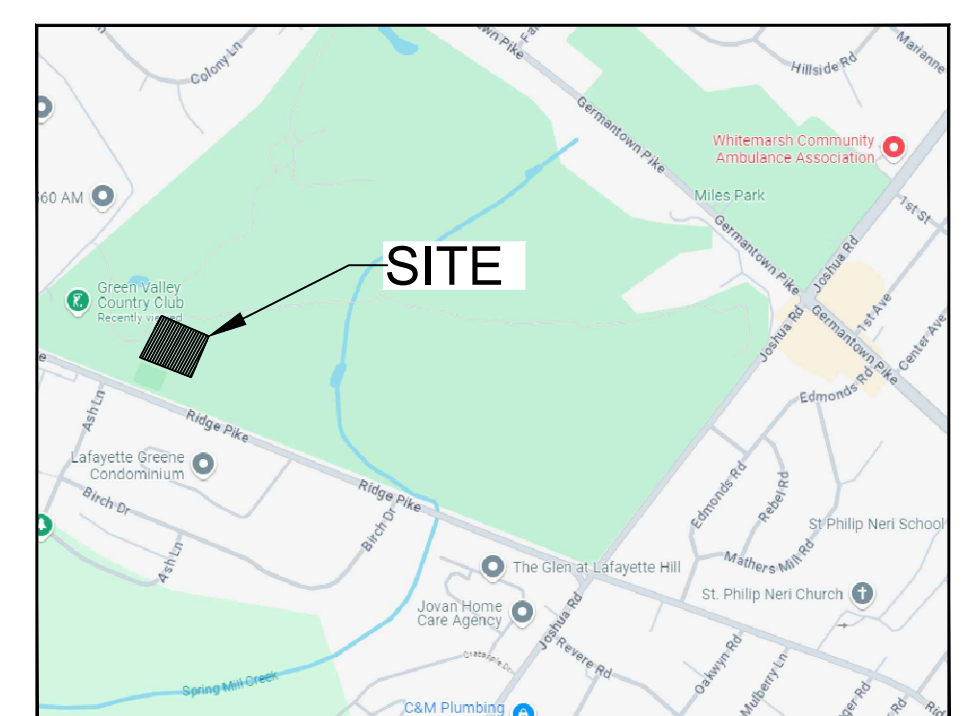
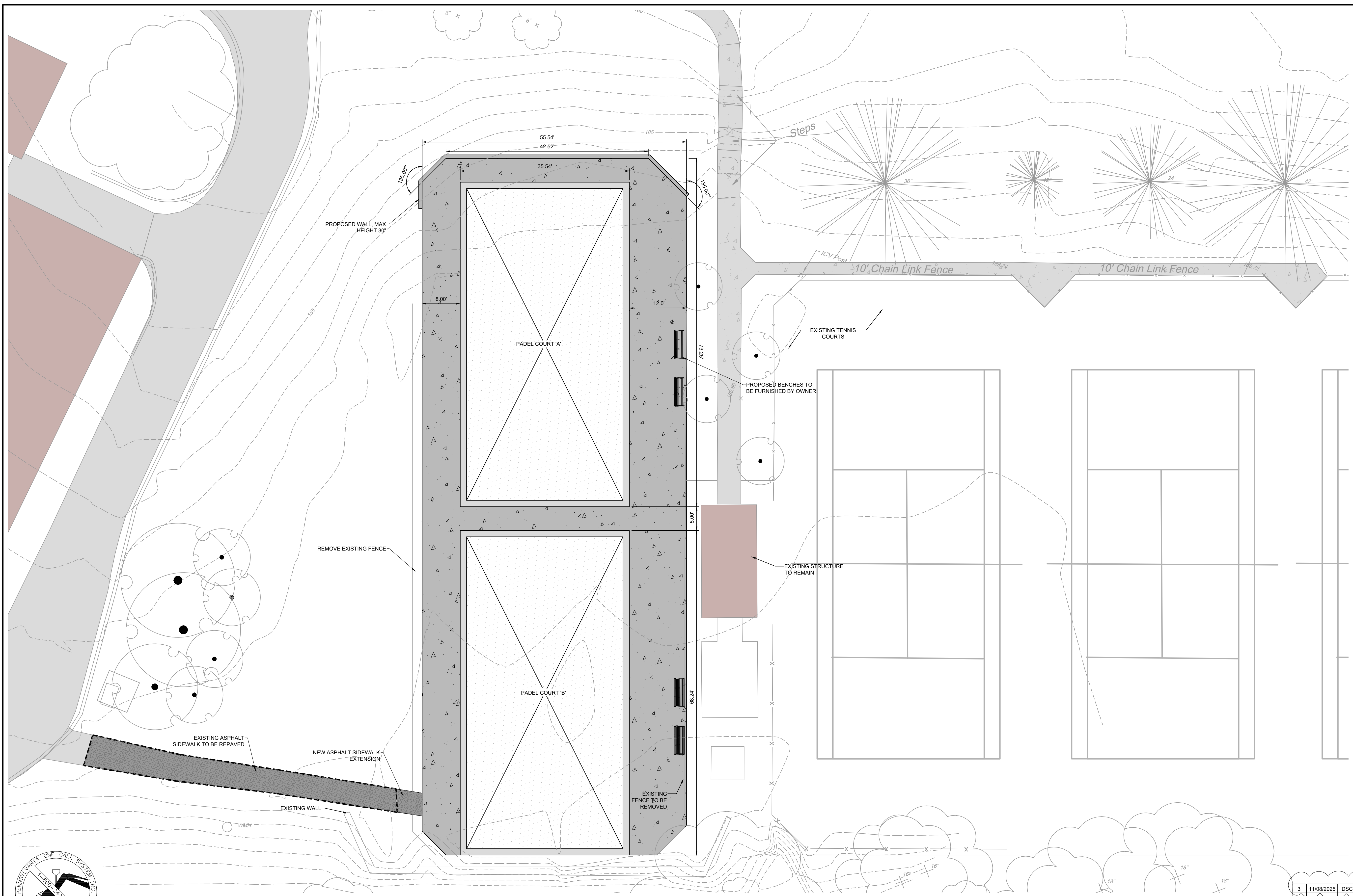
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED 'UNDERGROUND UTILITY LINE PROTECTION LAW'. ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

Section 58-17(A)(2)(s)

MARTIN EUSTACE, ON THIS DATE 09/11/2025, HAS REVIEWED AND CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58, 'GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES'.



X:\PROJECTS\2400 - 2469\243\04 - Green Valley Country Club Padel Drawings\Land Development\03 d-Layout & Materials plan.dwg September 25, 2025



Location Map  
Scale: 1" = 1000'

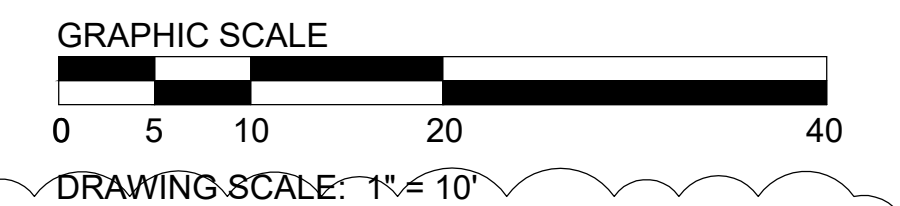
**Legend**

	Existing Building
	Existing Asphalt Paving
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Sign
	Existing Treeline
	Existing Evergreen Tree and Deciduous Tree
	Proposed Sidewalk
	Proposed Asphalt
	Proposed Contour
	Proposed Index Contour
	Proposed Spot Grade
	Soil Boundary
	Proposed Electric Line
	Proposed Landscape area

**Site Data:**  
 Address: 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFAYETTE HILL, PA. 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9



**Act 287**  
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
 MARTIN EUSTACE, ON THIS DATE (2/29/25), HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58.  
 \*GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES\*

**General Notes:**

- Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
- This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
- This Plan was prepared in accordance with the instructions of the Client.
- This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
- Future development of this property is subject to all rules, regulations, codes and ordinances of the Whitmarsh Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
- Attention is called to the Whitmarsh Township Zoning Code as amended.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property.
- The subject property shown hereon may be traversed by various underground utilities and pipes. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number 20243051401 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information is to be verified via a field markout and is subject to the findings that the markout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
- This plan may not depict the location of all in-ground interment sites within the area shown hereon. In-ground interment sites may exist within this area and were not visible at the time of the survey. It is the end user's responsibility to coordinate all site activity with the property owner to avoid conflicts.
- This property has access to Germantown Pike as shown hereon and is a public roadway.
- Existing features on adjoining properties and roadways are shown in limited detail. If future development of this warrants the involvement of adjoining properties and roadways, additional details may have to be obtained within those areas.
- Precision of information when originally established and typographical errors in legal documentation may result in fractional difference between what is shown on this plan and the recorded information.
- In the event that existing fence being relocated is damaged, contractor to notify Owner / Landscape Architect and provide new fencing to match existing fencing. In the event that new fencing for the entire project is needed, please contact Owner / Landscape Architect.

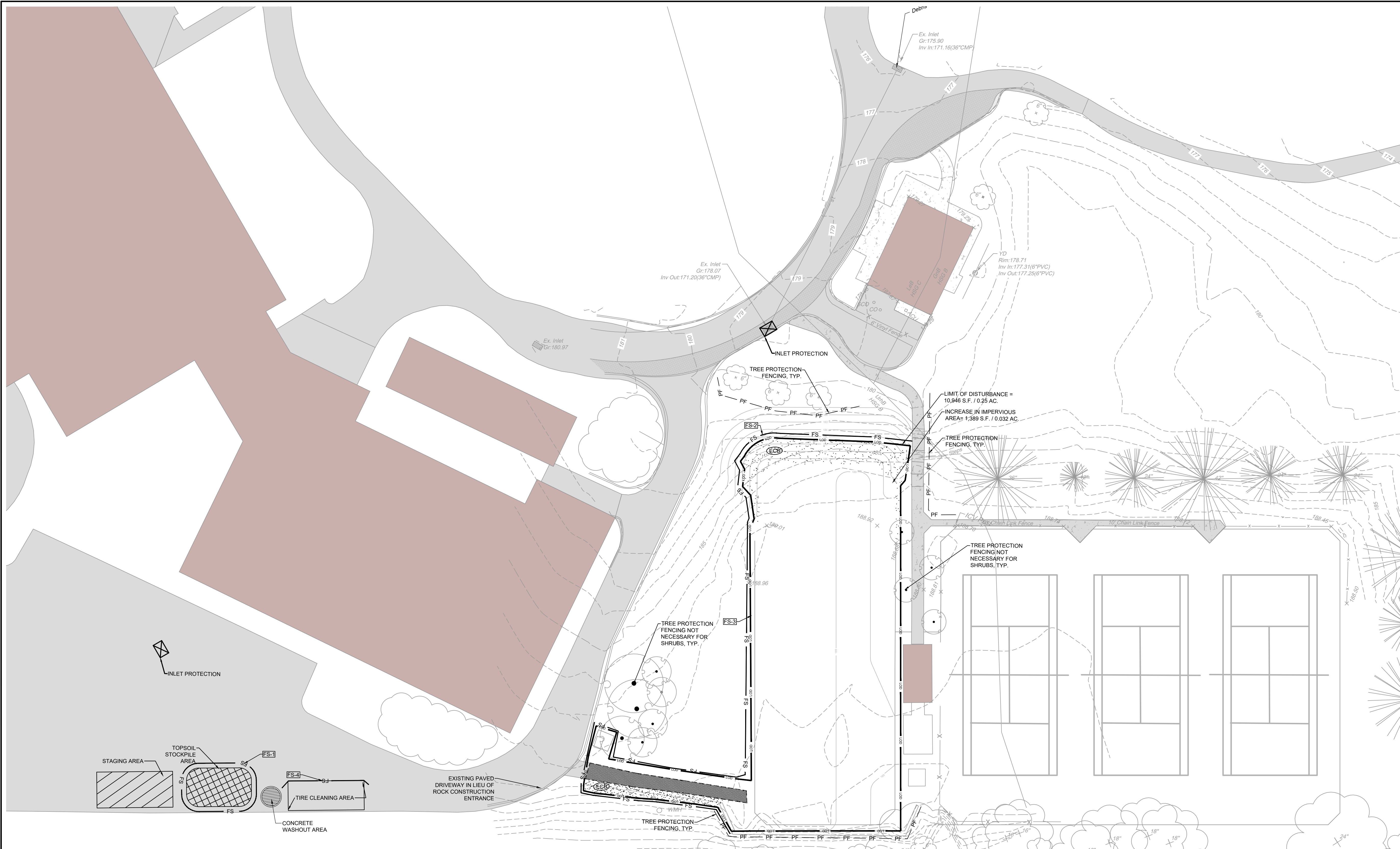
3	11/08/2025	DSC	LAND DEVELOPMENT RESUBMISSION
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Layout & Materials Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITMARSH TOWNSHIP

		<b>DRAWN BY</b> DSC
		<b>CHECKED BY</b> MJE
		<b>DATE</b> 04-11-2025
		<b>DRAWING No.</b> D 2443-04-04

Martin J. Eustace, III, P.E.  
 PA Lic. PE048891E

X:\PROJECTS\2400 - 2469\243\04 - Green Valley Country Club Padel Building\DRAWINGS\Land Development\04-erosion control plan.dwg September 25, 2025



Location Map Scale: 1" = 1000'

**Legend**

	Property Line
	Right-of-Way Line
	Setback Line
	Existing Building
	Existing Asphalt Paving
	Existing Curb
	Existing Concrete
	Existing Brick Paving
	Existing Contour
	Existing Index Contour
	Existing Spot Grade
	Existing Sign
	Existing Light Pole
	Existing Utility Pole
	Existing Utility Valve
	Existing Manhole
	Existing Tree Line
	Existing Evergreen Tree and Deciduous Tree
	Proposed Building
	Proposed Sidewalk
	Proposed Asphalt
	Proposed Padel Court
	Proposed Contour
	Proposed Index Contour
	Proposed Spot Grade
	Limit of Disturbance
	Compost Filter Sock
	Tree Protection Fence
	Proposed Electric Line
	Proposed Topsoil Stockpile area
	Proposed Landscape area
	Proposed Concrete Washout area
	Proposed Staging area
	Proposed Erosion Control Blanket

**Site Data:**  
Address: 201 RIDGE PIKE, LAFAYETTE HILL, PA 19444  
Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
GREEN VALLEY COUNTRY CLUB  
201 RIDGE PIKE  
LAFAYETTE HILL, PA 19444

**Parcel Information:**  
Parcel ID: 65-00-09754-00-9

**GRAPHIC SCALE**  
0 10 20 40 80

**DRAWING SCALE: 1" = 20'**

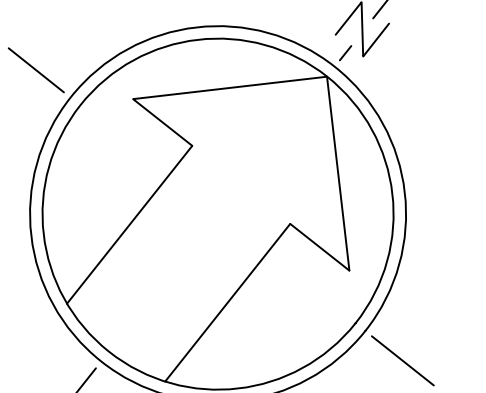
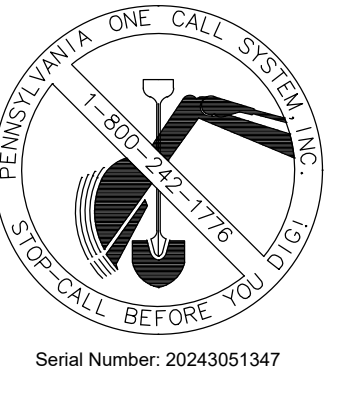
**EROSION & SEDIMENT CONTROL NOTES**

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
- At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet.

- Stockpile slopes shall be 2H:1V or flatter.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
  - All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
  - All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
  - The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
  - All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
  - Vehicles and equipment may neither enter directly nor exit directly from the project site onto Ridge Pike.
  - Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, retreating and resetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
  - A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
  - Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer,

- or surface water.
- All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
  - Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
  - All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
  - All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
  - Fill materials shall be free of frozen particles, brush, stumps, soil, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
  - Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
  - Fill shall not be placed on saturated or frozen surfaces.
  - Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
  - All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in the competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
  - Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, much or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
  - Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or

- other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
  - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
  - After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
  - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
  - Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.



**Act 287**  
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

**Section 58-17(A)(2)(s)**  
MARTIN EUSTACE, ON THIS DATE 09/25/2025, HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58, "GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES".

3	11/08/2025	DSC	LAND DEVELOPMENT RESUBMISSION
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Erosion & Sediment Control Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

**EUSTACE**  
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

**MARTIN J. EUSTACE, III, P.E.**  
PROFESSIONAL ENGINEER  
No. 04889-1  
PA Lic. PE048891E

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Fax: (215) 346-8759  
www.eustaceeng.com

DRAWN BY: DSC  
CHECKED BY: MJE  
DATE: 04-11-2025  
DRAWING No: D2443-04-05

## STANDARD E&S PLAN NOTES

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
- At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the PCSM plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-443-1776 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General clearing, grubbing and topsoil stripping may not commence in any stage or phase of the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
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- Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan maps(s) in the amount necessary to complete the final grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
- All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
- All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
- The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
- All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
- Vehicles and equipment may neither enter directly nor exit directly from the project site onto Ridge Pike.
- Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeded, remulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
- A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
- Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
- All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
- Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
- All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
- All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
- Fill materials shall be free of frozen particles, brush, roots, soil, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
- Frozen materials or soft, muddy, or highly compressible materials shall not be incorporated into fills.
- Fill shall not be placed on saturated or frozen surfaces.
- Seeps or springs encountered during construction shall be handled in accordance with the standard specification for subsurface drain or other approved method.
- All graded areas shall be permanently stabilized immediately upon reaching finished grade. Top slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
- Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
- Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMP. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
- Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor/criminal penalties for each violation.

- Additional Notes:
- Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
  - Upon request, the applicant or their contractor shall provide an as-built (revised drawing) for any sediment basin or trap to the municipal inspector, local conservation district or the Department.

## E&S CONTROL NARRATIVE

Prepared by: Martin J. Eustace, III, P.E.  
 Experience: Since 1988 has prepared numerous sedimentation plans for sites up to 700 acres, located in Bradford, Bucks, Chester, Montgomery, Tioga & Philadelphia Counties.

## SITE LOCATION

The project site is within the Green Valley Country Club located at Block 030 Unit 001, 201 ridge pike, Lafayette Hill, PA, Montgomery County, PA, behind the Tennis Club along Ridge Pike. The proposed improvements are for 2 Proposed Padel Courts and sidewalk to be constructed. The property is served by public water and public sewer. The site is zoned A-Residential District & Recreational Overlay District.

## EXISTING SITE & PROPOSED DEVELOPMENT

The property has been developed into a golf course and this area is one of the practice greens on the site.  
 The improvement areas slopes from south to north and are to be constructed on the existing grass field. No naturally occurring geologic/soil conditions that have the potential to cause pollution exist.  
 The proposed improvements include the construction of a 2 new Padel Courts and sidewalk area. Access to the site shall be via the entrance at Ridge Pike.  
 7,264 s.f. impervious coverage is proposed.

## PROPOSED E&S CONTROL

During the earthmoving period, we propose to control erosion and sedimentation by use of compost filter sock, inlet filter bag and tree protection fence.  
 After any excavation begins, all perimeter compost filter sock shall be installed parallel to existing grade, as illustrated on the plans. All sedimentation control measures pertaining to the area to be disturbed shall be installed and maintained at all times. Erosion control shall be made to maximize protection of existing drainage features and vegetation by installing the tree protection fence and compost filter socks prior to beginning excavation.  
 To limit the extent and duration of earth disturbance only that portion of the site that is to receive improvements shall be stripped of all vegetation and topsoil that may be present. The topsoil required for redistribution will be stockpiled, seeded and mulched immediately and protected by compost filter sock. All newly graded slopes of 3:1 and steeper shall be covered immediately with appropriate erosion control blankets. To the greatest extent possible, the contractor shall utilize construction methods that limit soil compaction during construction.  
 Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance will include inspection of all erosion and sedimentation control facilities after each storm event and on a daily basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeded, remulching and renetting will be performed immediately. The owner's representative in charge of the project will be responsible for the implementation of this sedimentation control plan and the maintenance of all facilities until the project is fully stabilized.  
 Stabilization of slopes and lawns shall consist of a permanent type of seeding or sodding, and will be conducted in accordance with the applicable Soil Conservation Service Specifications. Final stabilization measures of the site shall be completed immediately after this project has been fully completed. Other measures that help prevent or minimize generation of increased stormwater runoff during construction include proper sequencing and maintenance of temporary facilities.

## MAINTENANCE PROGRAM

The contractor shall check the erosion and sedimentation control facilities as noted (once daily or weekly per BMP - see respective details), prior to any anticipated rainfall events, and after every runoff event. Sediment barriers shall be maintained in good repair, remove silt build up per detail, spread and stabilize on site. Seeded areas that washed away shall be filled and graded as necessary and then reseeded and mulched. Where sediment barrier has been washed out by concentrated runoff, repair compost filter sock and provide rock filter berm backing to the filter sock to a depth of 2' by 20' wide. Inlet filter bags shall be emptied and replaced when half full or when flow capacity has been reduced so as to cause flooding by bypassing the inlet. Inspections must be logged onto DEP form 3800-FM-BCW0271d, dated 12/2019 and kept on site at all times.

## SURFACE WATERS

Receiving Water: Schuylkill River  
 The designated use of the receiving water under 25 Pa. Code Chapter 93 is TSF (Trot Stocking) and MF (Nigro Fishes). The receiving water is neither HQ (High Quality) nor EV (Excellent Value).  
 The receiving water is impaired for siltation (Category 5). The water has an established TMDL for siltation in the report of the Maximum Daily Load For Sediment and Nutrients Schuylkill River Watershed, dated 2005.

## RECYCLING OR DISPOSAL OF MATERIALS

The operator shall remove from the site, recycle or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq.  
 Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water.  
 Construction traffic must enter and exit the site and disturbed areas at the designated entrance. Water trucks will be used as needed during construction to reduce dust generation on the site. Dust control must be provided by the contractor to a degree that is acceptable to the local conservation district.

No solid materials, including building materials, are allowed to be discharged from the site with stormwater. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site.

Non-stormwater components of site discharge must be clean water. Water used for construction which discharges from the site must originate from a public water supply or private well approved by the State health department. Water used for construction that does not originate from an approved public supply must not discharge from the site.

## TOPSOIL APPLICATION NOTES

Graded areas should be scarified or otherwise loosened to a depth of 3 to 5 inches to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.  
 Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum - 2 inches on fill outcrops. Spreading should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the PCSM plan.  
 Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. Compacted soils should be scarified 6 to 12 inches along contour wherever possible prior to seeding.

TABLE 11.1  
 Cubic Yards of Topsoil Required for Application to Various Depths

Depth (in)	Per 1,000 SF	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1074

## PROPOSED TEMPORARY SEEDING

100% Perennial Ryegrass  
 Pure Live Seed: 81%  
 Rate: 1 Lbs. per 1,000 s.f. = 0.02 Tons/Ac.  
 Provide clean mulch on all seeded areas.  
 Fertilizer: 12.5 Lbs. per 1,000 s.f. / 10-10-10 Equiv. = 0.25 Tons/Ac.  
 Lime: 40 Lbs. per 1,000 s.f. = 1 Tons/Ac.  
 Straw Mulch: 140 Lbs. per 1,000 s.f. = 3 Tons/Ac.  
 Provide clean, unchopped or not finely broken straw mulch on all seeded areas that are not blanketed. Straw should be either wheat or oat straw.  
 Anchor Material: Organic Guar-gum Based Tackifier  
 Anchoring Method: Per manufacturer's recommendation. Preferably apply straw and tackifier at the same time.  
 Anchoring Rate: Per manufacturer's recommendation. (Typ. 20-40 lbs per Acre)

## PROPOSED PERMANENT SEEDING - LAWN

80% Turf Type Tall Fescue (3 dark green drought tolerant varieties min.)  
 10% Kentucky Bluegrass (drought tolerant variety)  
 10% Turf Type Perennial Ryegrass  
 Rate: 6 Lbs. Per 1,000 s.f. = 262 Lbs./Ac.  
 Fertilizer: 25 Lbs./1,000 s.f. / 10-20-20 Equiv. = 0.50 Tons/Ac.  
 Lime 240 Lbs./1,000 s.f. = 6 Tons/Ac.  
 Straw mulch: 140 Lbs./1,000 s.f. = 3 Tons/Ac.  
 Provide clean, unchopped or not finely broken straw mulch on all seeded areas that are not blanketed. Straw should be either wheat or oat straw.  
 Anchor Material: Organic Guar-gum Based Tackifier  
 Anchoring Method: Per manufacturer's recommendation. Preferably apply straw and tackifier at the same time.  
 Anchoring Rate: Per manufacturer's recommendation. (Typ. 20-40 lbs per Acre)

	Temporary Seeding		Permanent Seeding	
	% Purity	85%	95%	95%
% Pure Live Seed	95%	98%	98%	98%
Topsoil Placement Depth	N/A	6 inches		
Seeding Season	Spring	N/A	April 15 - June 15	
	Fall	N/A	August 15 - November 1	

## CONSTRUCTION SEQUENCE

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed in compliance with Chapter 102 regulations before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.  
 At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the E&S plan preparer, the licensed design professional, and a representative of the Montgomery County Conservation District to schedule an on-site meeting.  
 At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities locations. The contractor shall verify locations and depths of all existing utilities prior to start of work.  
 Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water. The operator is responsible for ensuring that any fill or borrow sites used for soil import/export have all applicable approved permits under E&S plans.  
 Cessation of activity for 4 days or longer requires temporary stabilization. No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations. Stabilization of fill slopes shall be in 15-25 foot vertical increments.

- Stake out the limit of disturbance. Install compost filter sock, tree protection fence, & tie cleaning station as shown on plans.
- Construction vehicles shall enter or exit the site via the existing paved driveway at Ridge Pike. Existing paved areas shall be swept regularly throughout the day to prevent soil and sediment from being tracked into undisturbed areas and onto Ridge Pike. The sediment shall be collected at tire cleaning station with water filter sock, sediment shall be recycled or disposed of per notes on this sheet. Dust control shall be provided as needed.
- Upon the installation or stabilization of all perimeter sediment control BMPs and at least 48 hours prior to proceeding with the bulk earth disturbance activities, the operator shall provide notification to the Montgomery County Conservation District, Township, and Township Engineer.
- Strip and stockpile topsoil from area of expansion required for proposed pad court. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.
- Remove existing Tennis Court.
- Rough grade in the area of improvements. Stabilize disturbed areas with permanent seeding and mulch and/or place erosion control blankets on all slopes 3:1 or steeper along with permanent lining as noted on plans.
- Remove or Relocate irrigation system and site lighting wiring as needed.
- Install electric to proposed pole location for lighting of the Padel Courts.
- Begin building foundation for Courts.
- Install sidewalk.
- Complete Court construction.
- Perform final site grading where necessary.
- Install sod, permanent seeding, landscaping, etc.
- Remove any accumulated sediment from compost filter socks and stabilize elsewhere on site.
- Contact Design Professional once 70% uniform perennial cover is reached and before any BMPs are removed.
- Remove temporary erosion control measures after all disturbed areas are stabilized with a minimum of 80% vegetative cover. Re-stabilize all areas disturbed due to the removal of temporary erosion control facilities.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.

- Stockpile heights must not exceed 35'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be disturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas, which are either at finished grade or will be restabilized within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation controls after each runoff event and on a daily/weekly basis as noted. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
- Site inspections and maintenance of all BMPs shall be conducted daily/weekly as noted, after every runoff event and also prior to any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCD and DEP upon request.
- All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeded, remulching, and renetting, must be performed immediately. If erosion and sediment BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be needed.
- Where BMPs are found to fail to alleviate erosion and sediment pollution, the permittee shall include the following information:  
 a. The location and severity of the BMP's failure and any pollution events.  
 b. All steps taken to reduce, eliminate, and prevent the recurrence of the non-compliance.  
 c. The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater on all disturbed areas within 50 feet of streams and wetlands.

NOTE: COMPOST FILTER SOCK MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES.

- Remove or Relocate irrigation system and site lighting wiring as needed.
- Install electric to proposed pole location for lighting of the Padel Courts.
- Begin building foundation for Courts.
- Install sidewalk.
- Complete Court construction.
- Perform final site grading where necessary.
- Install sod, permanent seeding, landscaping, etc.
- Remove any accumulated sediment from compost filter socks and stabilize elsewhere on site.
- Contact Design Professional once 70% uniform perennial cover is reached and before any BMPs are removed.
- Remove temporary erosion control measures after all disturbed areas are stabilized with a minimum of 80% vegetative cover. Re-stabilize all areas disturbed due to the removal of temporary erosion control facilities.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.

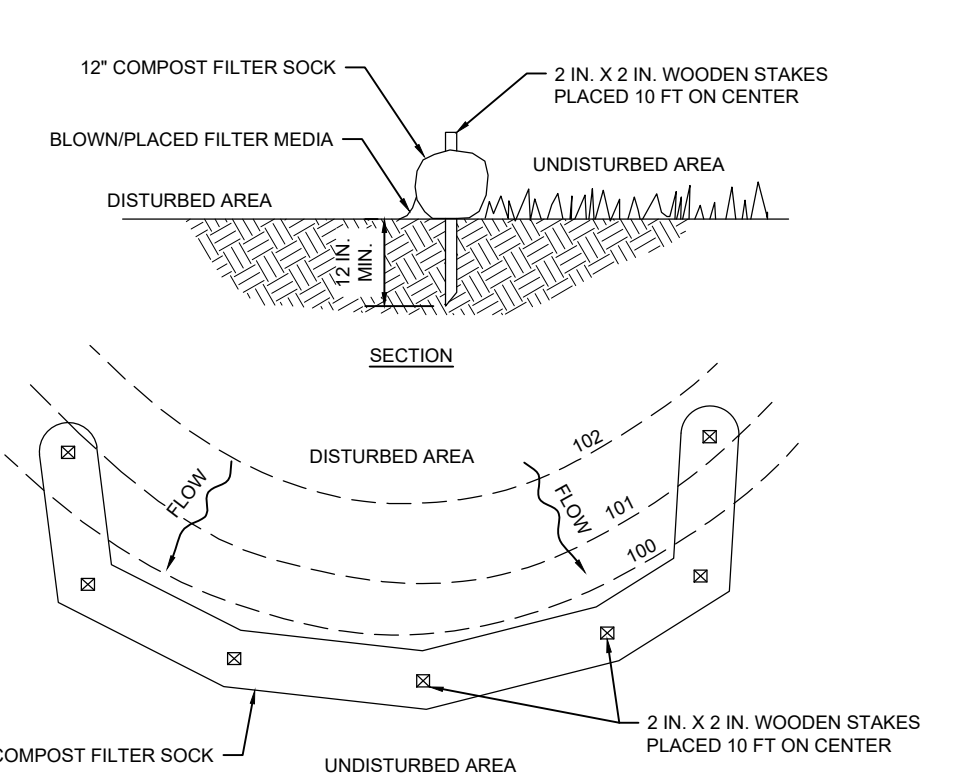
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- Erosion control blankets must be installed on all slopes 3:1 or greater on all disturbed areas within 50 feet of streams and wetlands.

NOTE: COMPOST FILTER SOCK MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES.

## PROJECT NOTES

- Plan set bearing the stamp of Township Engineer must remain on site during duration of grading until work is complete.
- Permit holder will notify the Township Engineer for inspections at least 48 hours prior to initial inspection, rough grading is being performed, any work on: drainage facilities, BMPs, and special structures, and for final inspection.

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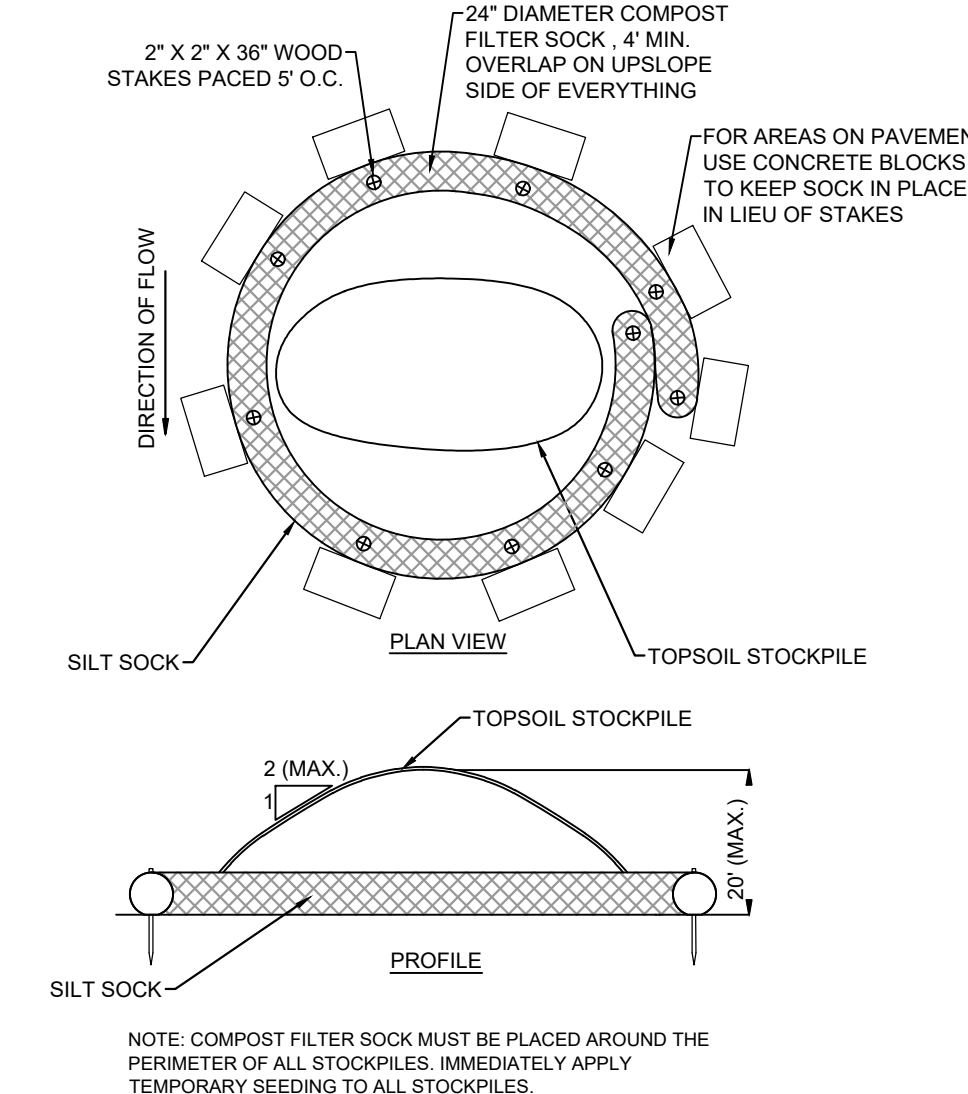


TREE PROTECTION DETAIL  
 N.T.S.

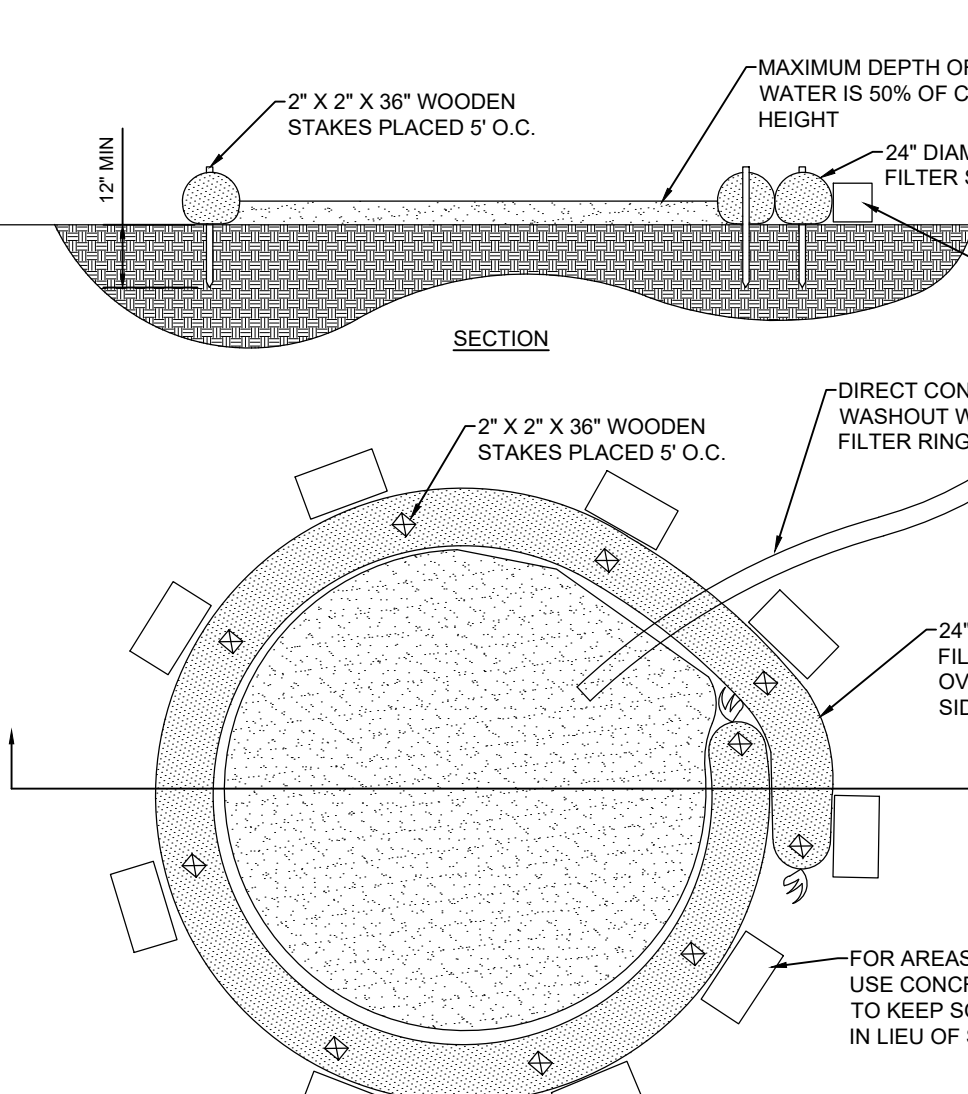
TREE PROTECTION SPECIFICATIONS:  
 1. PRE-CONSTRUCTION PRUNING:  
 1.1. SOME TREES MAY REQUIRE LOWER-BRANCH PRUNING TO ALLOW FOR THE OPERATION OF CONSTRUCTION EQUIPMENT. IT MAY BE NECESSARY TO PRUNE TO A HEIGHT OF 15' OR MORE TO ALLOW FOR CLEARANCE OF CONSTRUCTION VEHICLES. TRAINED PERSONNEL SHOULD DO A PRE-CONSTRUCTION PRUNING. ALL WORK PERFORMED BY PRUNING CREWS SHOULD BE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.  
 2. CONSTRUCTION PERSONNEL NOTIFICATION:  
 2.1. ALL CONTRACTOR EMPLOYEES, INCLUDING SUPERVISORY PERSONNEL AND ALL SUBCONTRACTORS AND THEIR PERSONNEL SHOULD BE MADE AWARE THAT THE EXISTING TREES TO BE RETAINED ARE VALUABLE AND NEED TO BE PROTECTED.  
 3. TREE PROTECTION ZONE:  
 3.1. PRIOR TO CONSTRUCTION TREES AND SHRUBS SHALL BE PROTECTED BY 6' HIGH CHAIN LINK FENCING, STAKED EVERY 10' FEET TO ENSURE THAT THERE IS NOT ENCRoACHMENT WITHIN THE AREA OF THEIR DRIP LINE BY CHANGING GRADE, TRENCHING, STOCKPILES OF BUILDING MATERIALS OR TOPSOIL OR THE COMPACTON OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLES. UNLESS THE FOLLOWING REGULATIONS ARE NOT MET:  
 3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR

TOWNSHIP LANDSCAPE ARCHITECT, EXISTING TREES WHICH HAVE NOT BEEN ADEQUATELY PROTECTED MAY BE REQUIRED TO BE REMOVED AND REPLACED. TREE PROTECTION FENCING SHALL BE ESTABLISHED BY ENCIRCLING THE DIMENSIONS OF EACH ROOT PROTECTION ZONE AS CALCULATED AT 1.25 FEET (RADIUS) PER ONE INCH OF DBH.  
 4. TREE WATERING:  
 4.1. PROVISIONS SHOULD BE MADE TO WATER DESIGNATED TREES DURING PERIOD OF DROUGHTS, PERIODS OF DROUGHT ARE DEFINED AS A TIME WHEN THERE IS LESS THAN 1" OF RAINFALL DURING ANY 30-DAY PERIOD. TREES SHOULD BE WATERED AT A RATE OF 50 GALLONS PER INCH DIAMETER. APPLICATION SHOULD BE MADE SO THAT THE WATER SLOWLY SOAKS INTO THE GROUND AND DOES NOT RUN OFF.  
 5. POST-CONSTRUCTION PRUNING:  
 5.1. SOME TREES MAY BE INDIRECTLY DAMAGED DURING CONSTRUCTION ACTIVITIES. ALL POST-CONSTRUCTION PRUNING SHOULD BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.  
**WAIVER:** DUE TO THE LOCATION OF THE EXISTING DRIVEWAYS AND OTHER EXISTING FEATURES, THE LOCATION OF TREE PROTECTION FENCING WILL BE AS SHOWN PER PLAN IN LIEU OF THE REQUIREMENTS SET FORTH IN CHAPTER 55 OF THE TREE PROTECTION STANDARDS.

## STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



TOPSOIL STOCKPILE AREA DETAIL  
 N.T.S.



CONCRETE WASHOUT  
 N.T.S.

NOTES:  
 INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.  
 18\"/>

FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AS THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.  
 WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, BUT PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS. WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.  
 ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.  
 ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.  
 PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

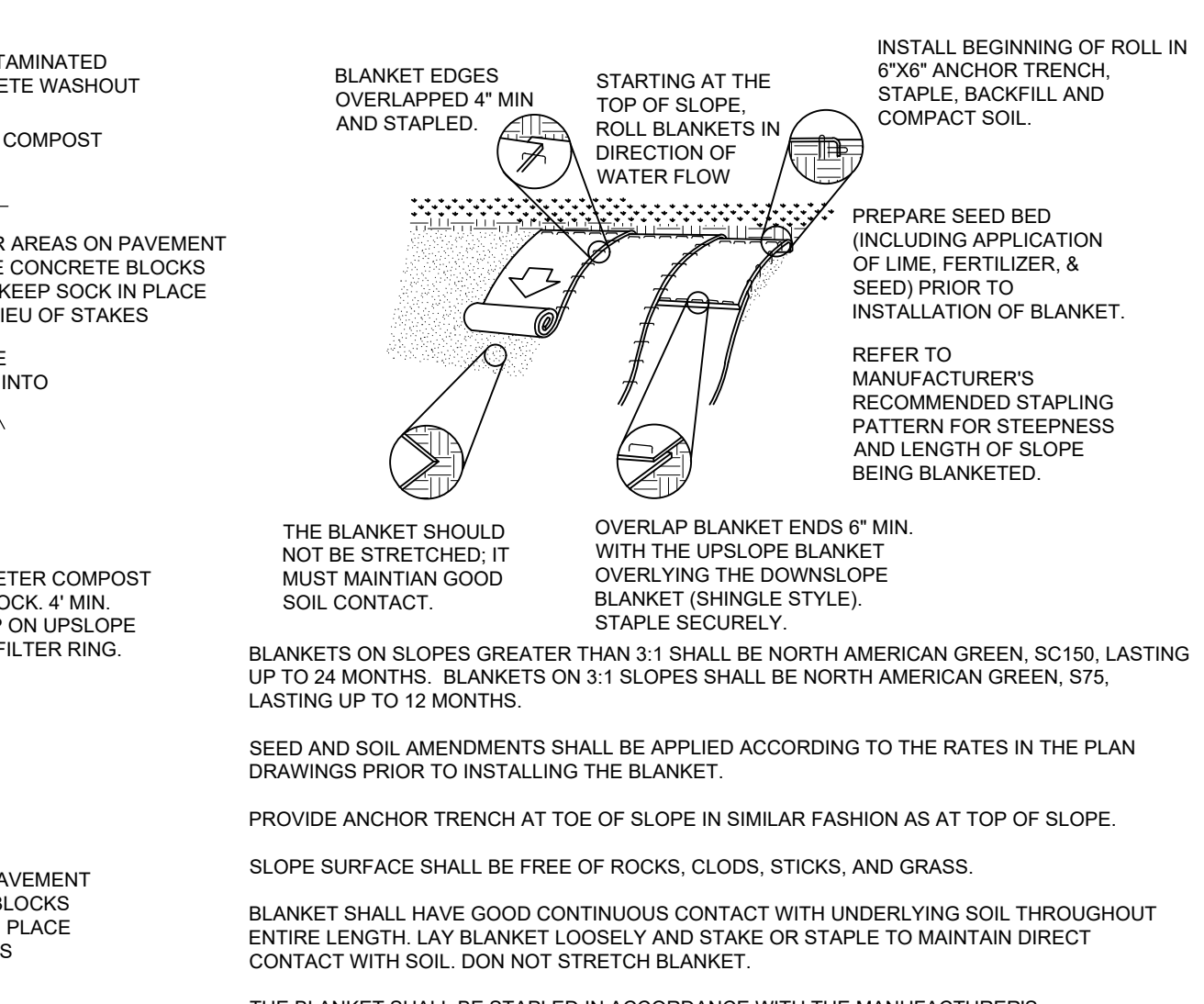


INSTALLATION DETAIL  
 N.T.S.

NOTES:  
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.  
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAZ TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.  
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL, OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.  
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

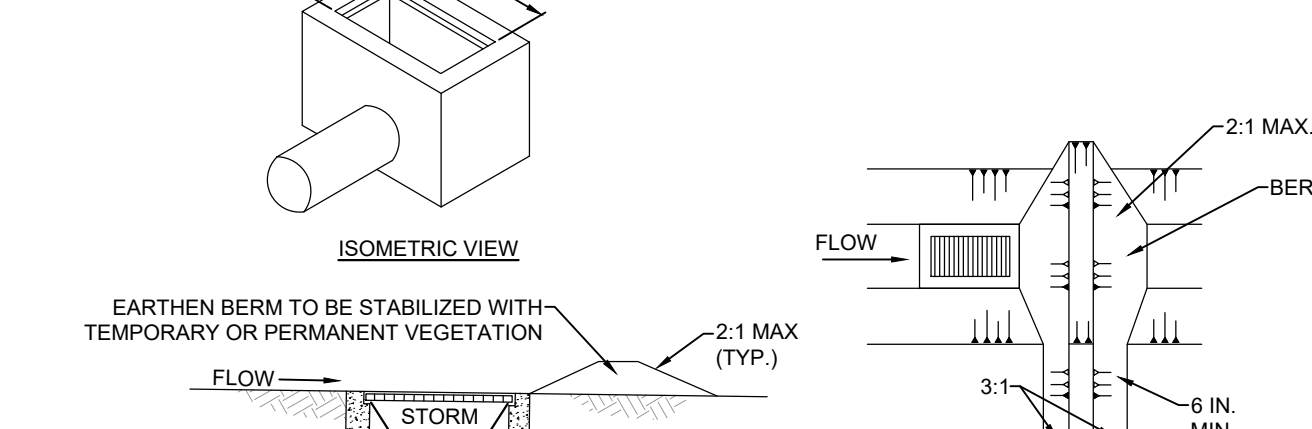
## STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #11-1  
 EROSION CONTROL BLANKET INSTALLATION  
 N.T.S.

NOTES:  
 INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.  
 18\"/>



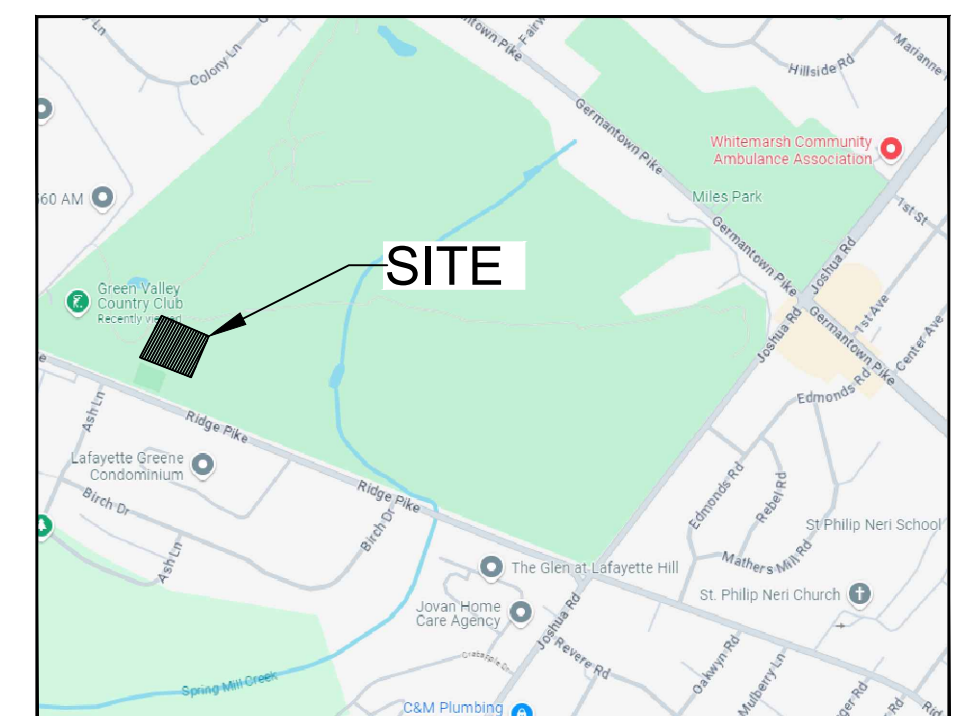
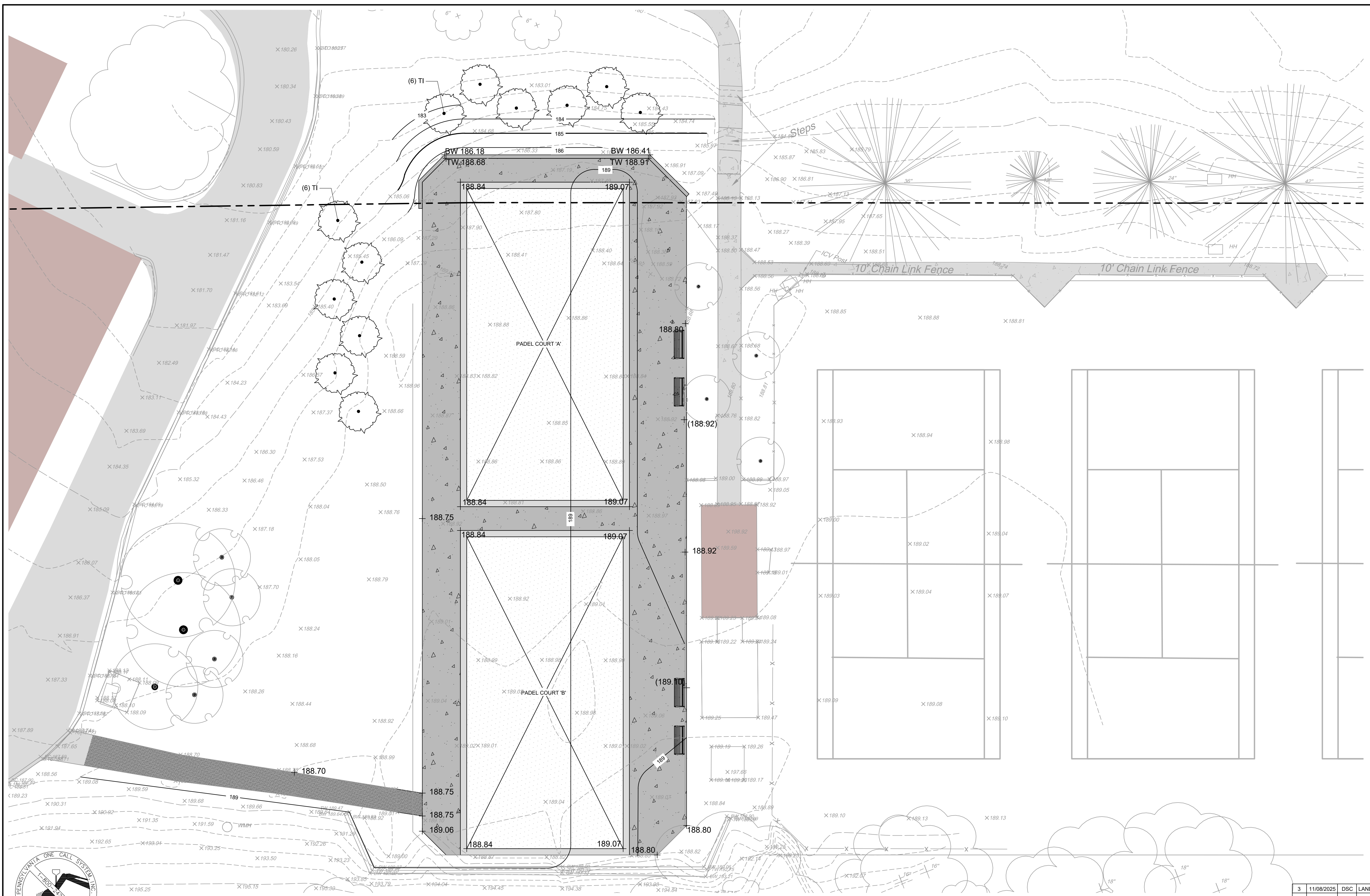
TREE PROTECTION DETAIL  
 N.T.S.

TREE PROTECTION SPECIFICATIONS:  
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**WAIVER:** DUE TO THE LOCATION OF THE EXISTING DRIVEWAYS AND OTHER EXISTING FEATURES, THE LOCATION OF TREE PROTECTION FENCING WILL BE AS SHOWN PER PLAN IN LIEU OF THE REQUIREMENTS SET FORTH IN CHAPTER 55 OF THE TREE PROTECTION STANDARDS.

NO.	DATE	BY	DESCRIPTION
3	11/08/2025	DSC	LAND

X:\PROJECTS\2400 - 2469\2443\04 - Green Valley Country Club Padel Drawings\Land Development\06 d-Landscape Plan.dwg November 11, 2025



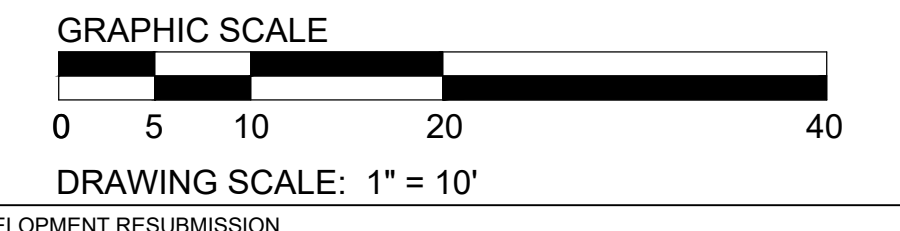
Location Map  
Scale: 1" = 1000'

- Legend**
- Existing Building
  - Existing Asphalt Paving
  - Existing Concrete
  - Existing Brick Paving
  - Existing Contour
  - Existing Index Contour
  - Existing Sign
  - Existing Treeline
  - Existing Evergreen Tree and Deciduous Tree
  - Proposed Sidewalk
  - Proposed Asphalt
  - Proposed Contour
  - Proposed Index Contour
  - Proposed Spot Grade
  - Soil Boundary
  - Proposed Electric Line
  - Proposed Landscape area
  - Proposed Padel Court
  - Proposed Trees & Shrubs
  - Existing Shrub

**Site Data:**  
 Address: 201 RIDGE PIKE  
 LAFALETTE HILL, PA. 19444  
 Zoned: A-RESIDENTIAL DISTRICT (RECREATION DISTRICT OVERLAY)  
 Lot Area: 177.36 ACRES (PER REFERENCE PLAN)

**Owner/Applicant:**  
 GREEN VALLEY COUNTRY CLUB  
 201 RIDGE PIKE  
 LAFALETTE HILL, PA. 19444

**Parcel Information:**  
 Parcel ID: 65-00-09754-00-9



3	11/08/2025	DSC	LAND DEVELOPMENT RESUBMISSION
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

**Landscape Plan**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFALETTE HILL, PA - WHITEMARSH TOWNSHIP

**EUSTACE**  
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

307 Easton Road  
 Building B - 2nd Floor  
 Willow Grove, PA 19090  
 Tel: (215) 346-8757  
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 www.eustaceeng.com

**DRAWN BY:** DSC  
**CHECKED BY:** MJE  
**DATE:** 04-11-2025  
**DRAWING No.:** D 2443-04 07



**Act 287**  
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK IN ACCORDANCE WITH ACT 287.

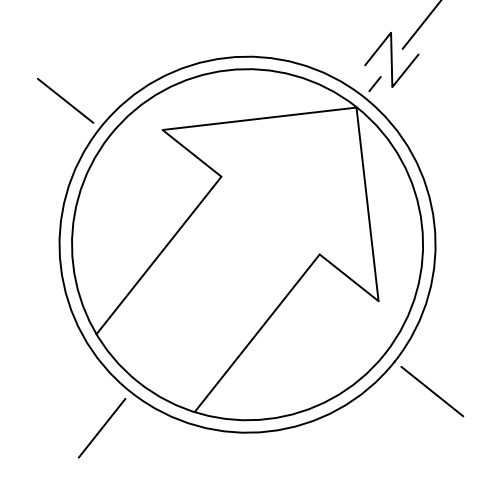
**Section 58-17(A)(2)(s)**  
 MARTIN EUSTACE, ON THIS DATE (04/11/2025) 2/29/25, HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 58. \*GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES\*

**General Notes:**

1. Information shown hereon reflects existing conditions as of August 29, 2024 per a field survey performed by Eustace Engineering.
2. This Plan does not represent a boundary survey and is subject to the findings that a boundary survey would reveal. Any right-of-way lines and tax parcel lines shown hereon are a graphic depiction only.
3. This Plan was prepared in accordance with the instructions of the Client.
4. This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
5. Future development of this property is subject to all rules, regulations, codes and ordinances of the Whitemarsh Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
6. Attention is called to the Whitemarsh Township Zoning Code as amended.
7. A building and/or zoning permit is required for any changes to the conditions that exist within this property.
8. The subject property shown hereon may be traversed by various underground utilities and pipes. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number: 20243051401 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information is to be verified via a field markup and is subject to the findings that the markup and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
9. This plan may not depict the location of all in-ground interment sites within the area shown hereon. In-ground interment sites may exist within this area and were not visible at the time of the survey. It is the end user's responsibility to coordinate all site activity with the property owner to avoid conflicts.
10. This property has access to Germantown Pike as shown hereon and is a public roadway.
11. Existing features on adjoining properties and roadways are shown in limited detail. If future development of this warrants the involvement of adjoining properties and roadways, additional details may have to be obtained within those areas.
12. Precision of information when originally established and typographical errors in legal documentation may result in fractional difference between what is shown on this plan and the recorded information.

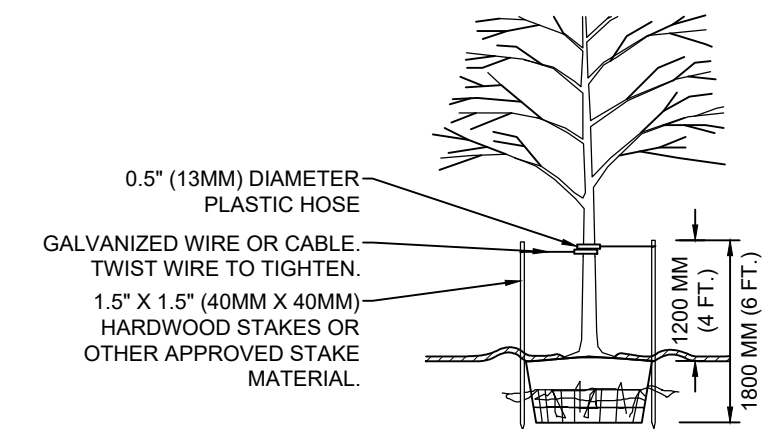
**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	TI	Thuja x 'Green Giant' / Green Giant Arborvitae	8ft ht	B&B	12



**LANDSCAPE SPECIFICATIONS**

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT. UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
2. MATERIALS:
  - A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
  - B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT HAVING AN ORGANIC CONTENT NOT LESS THAN 5% A pH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE (1) INCH, WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOS.
  - C. LAWN: ALL DISTURBED AREAS NOT OTHERWISE BUILT UPON SHALL RECEIVE SIX INCH (6") OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
    - I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
    - II. ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF TRIPLE SHREDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
  - D. FERTILIZER
    - I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL OPENED STATISTICS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
    - II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - E. PLANT MATERIAL
    - I. ALL PLANTS SHALL CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSEYMEN).
    - II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES.
    - III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES IN EACH GROUPING FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
    - IV. TREES WITH ABRASIONS OF THE BARK, SUN SCALDS, DISFIGURATIONS OR FRESH CUTS OF LIMBS OVER 1/2" WHICH HAVE NOT COMPLETELY CALLOSED OVER, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BRANCHES.
    - V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL WELL DEVELOPED BRANCHING SYSTEM AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
    - VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING FOUR INCH (4") CALIPER. IF THE CALIPER EXCEEDS FOUR INCHES (4"), THE CALIPER SHALL BE MEASURED AT 12" ABOVE THE NATURAL GRADE.
    - VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
    - VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
    - IX. ALL PLANTS SHALL BE CERTIFIED DISEASE AND PEST FREE.
    - X. SHOULD PLANT MATERIAL BE NEEDED, THE CONTRACTOR SHALL SUBMIT A REQUEST TO THE PROJECT LANDSCAPE ARCHITECT STATING PLANTS TO BE REPLACED, THE REQUESTED SUBSTITUTION (SPECIES, VARIETY, SIZE, ETC.) AND THE REASON FOR THE REQUEST. THE LANDSCAPE ARCHITECT SHALL SUBMIT SUCH REQUESTS TO THE MUNICIPAL LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION IF REQUIRED BY THE MUNICIPALITY.
3. GENERAL WORK PROCEDURES
  - A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
  - B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS, INCLUDING ORGANIC MATERIALS SHALL BE REMOVED COMPLETELY FROM THE SITE. NOTHING SHALL BE BURIED OR BURNED.
4. SITE PREPARATIONS
  - A. BEFORE AND DURING BOTH PRELIMINARY AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINE HEREIN.
  - B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRED LIMS OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS. TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED AT THE END OF EACH DAY. CONTRACTOR SHALL ROOT FEED AND WATER EXISTING TREES AS NEEDED TO PREVENT SHAKES OR DECLINE.
  - C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY TAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION (SEE EROSION & SEDIMENT CONTROL DETAILS)
6. SOIL MODIFICATIONS
  - A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
  - C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHALL BE REVISED BASED ON TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
    - I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12". USE COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.
    - II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL CYPRESS. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
    - III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. SUBMIT SOIL MODIFICATION PLAN TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO STARTING.
7. FINISHED GRADING
  - A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL INSTALL TOPSOIL AND COMPLETE FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
  - B. LANDSCAPE CONTRACTOR SHALL VERIFY SUBGRADE PRIOR TO INSTALLATION OF TOPSOIL. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
  - C. ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
  - D. ALL LANDSCAPE AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. STANDING WATER SHALL NOT BE PERMITTED ANYWHERE ON THE SITE.
8. TOPSOIL
  - A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY LOCAL ORDINANCE, OR CLIENT, IN ALL LANDSCAPE AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
  - B. ON-SITE TOPSOIL SHALL BE AMENDED BASED ON SOIL TESTING PRIOR TO RE-USE. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL LANDSCAPE AREAS. THE pH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
  - C. ALL LANDSCAPE AREAS SHALL BE CULTURED TO A DEPTH OF SIX (6") INCHES PRIOR TO SPREADING OF TOPSOIL. ALL DEBRIS EXPOSED BY CULTIVATION SHALL BE DISPOSED OF PER GENERAL WORK PROCEDURES ABOVE. AREA SHALL BE LEVELLED AND LIGHTLY COMPACTED TO FINISH LINES AND GRADES (MINUS 4"). REMAINING AMENDED TOPSOIL SHALL BE SPREAD, LIGHTLY COMPACTED AND BROUGHT TO FINAL LINES AND GRADES.
  - E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
9. PLANTING
  - A. INsofar AS IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH, PROPERLY SPICED SO AS TO NOT DAMAGE PLANTS, WATERED AND MAINTAINED SO QUALITY IS NOT LOST.
  - B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN ALLOWABLE PLANTING SEASONS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
  - C. ALL INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. PLANTS DISFIGURED BY PRUNING SHALL BE REJECTED.
  - D. ALL PLASTIC, WOOD, OR OTHER SOLID CONTAINERS SHALL BE REMOVED FROM PLANTS PRIOR TO INSTALLATION. RECYCLE APPROPRIATE MATERIALS. PLANTS WITH FABRIC AND/OR WIRE BASKETS SHALL BE PLACED TO PROPER GRADE IN PLANT PIT. ONCE AT GRADE AND PLUMB, ALL FABRIC AND WIRE BASKETS SHALL BE CUT AT MIDPOINT OF BALL AND REMOVED. TREATED FABRIC SHALL BE REMOVED IN ITS ENTIRETY.
  - E. POSITION TREES BY STAKES AND SHRUBS BY SETTING IN POSITION AT THEIR INTENDED LOCATIONS AS PER THE PLANS FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS. MAKE NECESSARY ADJUSTMENTS AS DIRECTED.
  - F. NO DECIDUOUS SHADE TREES SHALL BE LOCATED CLOSER THAN 10' FT. TO A SANITARY AND WATER UTILITIES WITHOUT USE OF ROOT BARRIER FENCE.
  - G. NO PLANTS, EXCEPT GROUND COVERS, SHALL BE PLANTED CLOSER THAN 5 FT. FROM A STRUCTURE, WALLS OR CURBLINE.
  - H. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCIES.
  - I. PLANTING DATES DECIDUOUS TREES/SHRUBS: MARCH 15 TO JUNE 30 AUGUST 15 TO NOVEMBER 15 EVERGREEN TREES/SHRUBS: MARCH 15 TO JUNE 30 AUGUST 15 TO OCTOBER 1
  - J. LAWN IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL PLAN SEEDING SPECIFICATIONS.
  - K. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION.
  - L. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE, IT IS NOT RECOMMENDED IF IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
    - ACER RUBRUM
    - PLATANUS X ACERIFOLIA
    - BETULA VARIETIES
    - POPULUS VARIETIES
    - CARPINUS VARIETIES
    - PRUNUS VARIETIES
    - CRATAEGUS VARIETIES
    - PYRUS VARIETIES
    - KOELREUTERA
    - QUERCUS VARIETIES
    - LIQUIDAMBAR STRACIFLUA
    - TILIA TOMENTOSA
    - LIRIODENDRON TULIPIFERA
    - ZELKOVA VARIETIES
    - LAGERSTROMIA VARIETIES
  - M. PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, SEE DETAILS FOR WIDTH AND DEPTH. THE ROOT BALL SHALL REST ON UNDISTURBED, EACH PLANT PIT SHALL BE BACKFILLED AND PLOUDED TO COMPACT IN SIX (6") INCH LAYERS.
    - I. 1 PART PEAT MOSS OR COMPOSTED BY VOLUME
    - II. 1 PART EXISTING SOIL
    - III. 1 PART TOPSOIL
    - IV. 21 GRAM AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
      - A) 2 TABLETS PER 1 GALLON PLANT
      - B) 3 TABLETS PER 1 GALLON PLANT
      - C) 4 TABLETS PER 15 GALLON PLANT
      - D) LARGER PLANTS: 2 TABLETS PER 1" CALIPER OF TRUNK
  - N. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS, COMPLETE BACKFILL AND WATER THOROUGHLY.
  - O. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
  - P. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST YEAR OF PLANTING.
  - Q. ALL PLANTING AREAS AND PLANTING SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. PLACE NO MULCH WITHIN THREE (3") INCHES OF TRUNK OF THE TREE OR SHRUB.
  - R. DO NOT CUT LEAVES OF ANY TREES.
  - S. ALL TREE WRAP SHALL BE REMOVED UPON INSTALLATION.
  - T. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
  - U. CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY AND INSTALL DEER GUARDS ON TREE TRUNKS TO PROTECT TREES FROM DEER DAMAGE. TREES DAMAGED BY DEER RUBS THAT HAVE NOT BEEN PROTECTED WILL BE REPLACED UNDER WARRANTY.
  - V. TRANSPLANTING WHEN REQUIRED:
    - A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. ROOT BALLS BE MINIMUM ONE SIZE LARGER THAN REQUIRED BY STANDARDS FOR STOCK.
    - B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN SEE 3.A. ABOVE.
    - C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND OCT 1.
    - D. UPON REPLANTING, USE PLANTING SPECIFICATIONS ABOVE AND ADD ROOT GROWTH HORMONE PER MANUFACTURING RECOMMENDATIONS.
    - E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
    - F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH SHALL BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
  - A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE THROUGH GUARANTEE AND MAINTENANCE PERIOD.
  - B. SITE OWNER SHALL PROVIDE WATER WHETHER AVAILABLE ON SITE OR NEEDS TO BE TRANSPORTED. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
  - C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE & MAINTENANCE
  - A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF TWELVE (12) MONTHS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
  - B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OFF-SITE, WITHOUT EXCEPTION. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT GUARANTEE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
  - C. LAWN SHALL BE ACCEPTED AND MAINTENANCE FOR LAWN SHALL BECOME OWNER'S RESPONSIBILITY WHEN THERE IS 85% COVERAGE OF FULL HEALTHY STAND OF LAWN GRASS, WEEDFREE AND NO BARE SPOTS LARGER THAN ONE (1) SQUARE FOOT AND IN NO CASE LESS THAN 90 DAYS.
  - D. THE DEVELOPER SHALL CONTACT THE TOWNSHIP IN WRITING TO REQUEST A FINAL INSPECTION FOR ACCEPTANCE AT THE END OF THE 12 MONTH GUARANTEE PERIOD.
  - E. CLEANUP
    - A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
    - B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



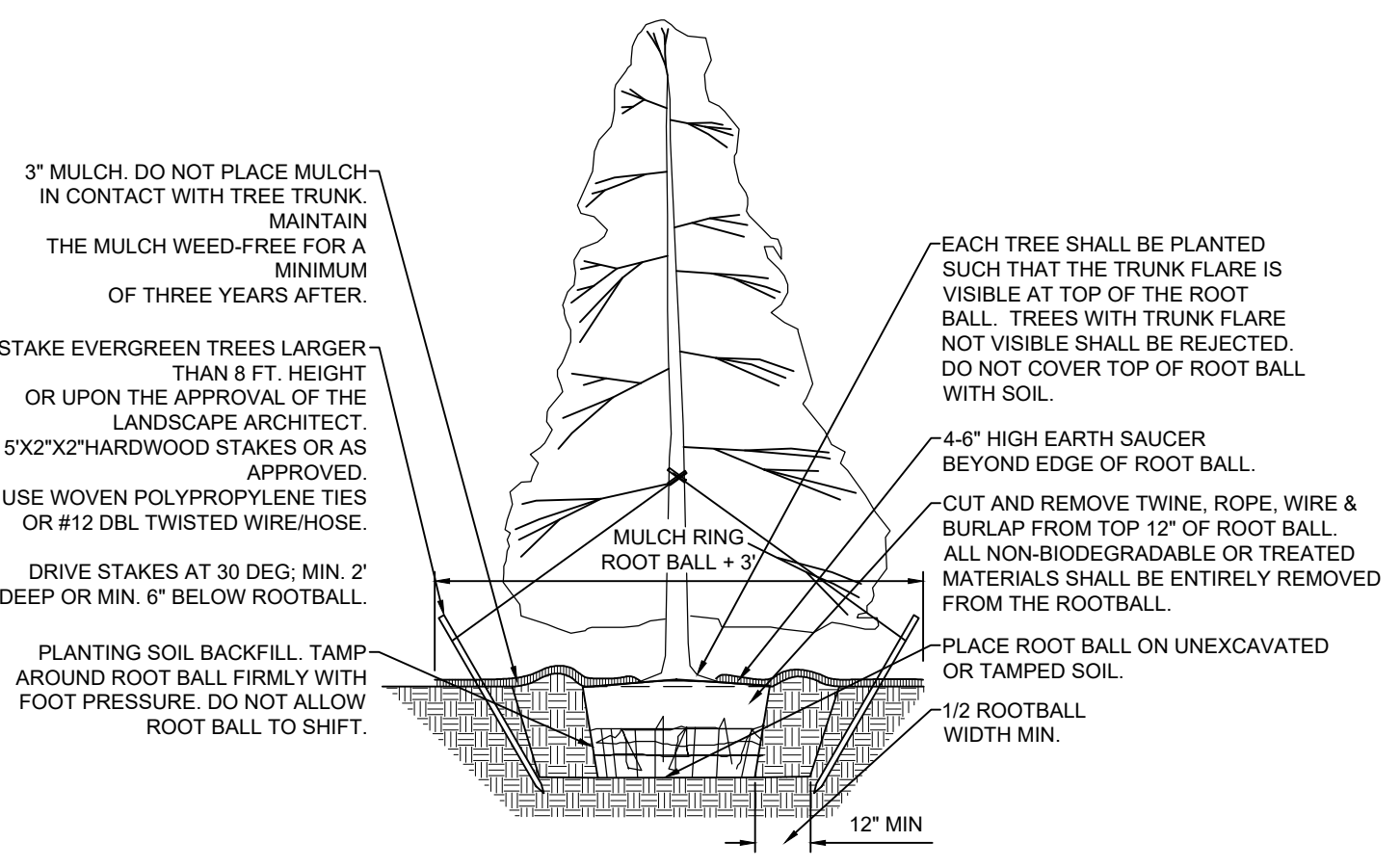
- NOTES:**
1. ALL TREES ARE TO BE STAKED WITH THREE (3) STAKES PLACED EQUILATERALLY AROUND THE TREE.
  2. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGES OF THE ROOT BALL.
  3. ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 0.5" (12MM).
  4. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED.
  5. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

**WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:**

- TREES UP TO 2.5' (65MM) CALIPER - 14 GAUGE
- TREES 2.5' (65MM) TO 3' (75MM) CALIPER - 12 GAUGE

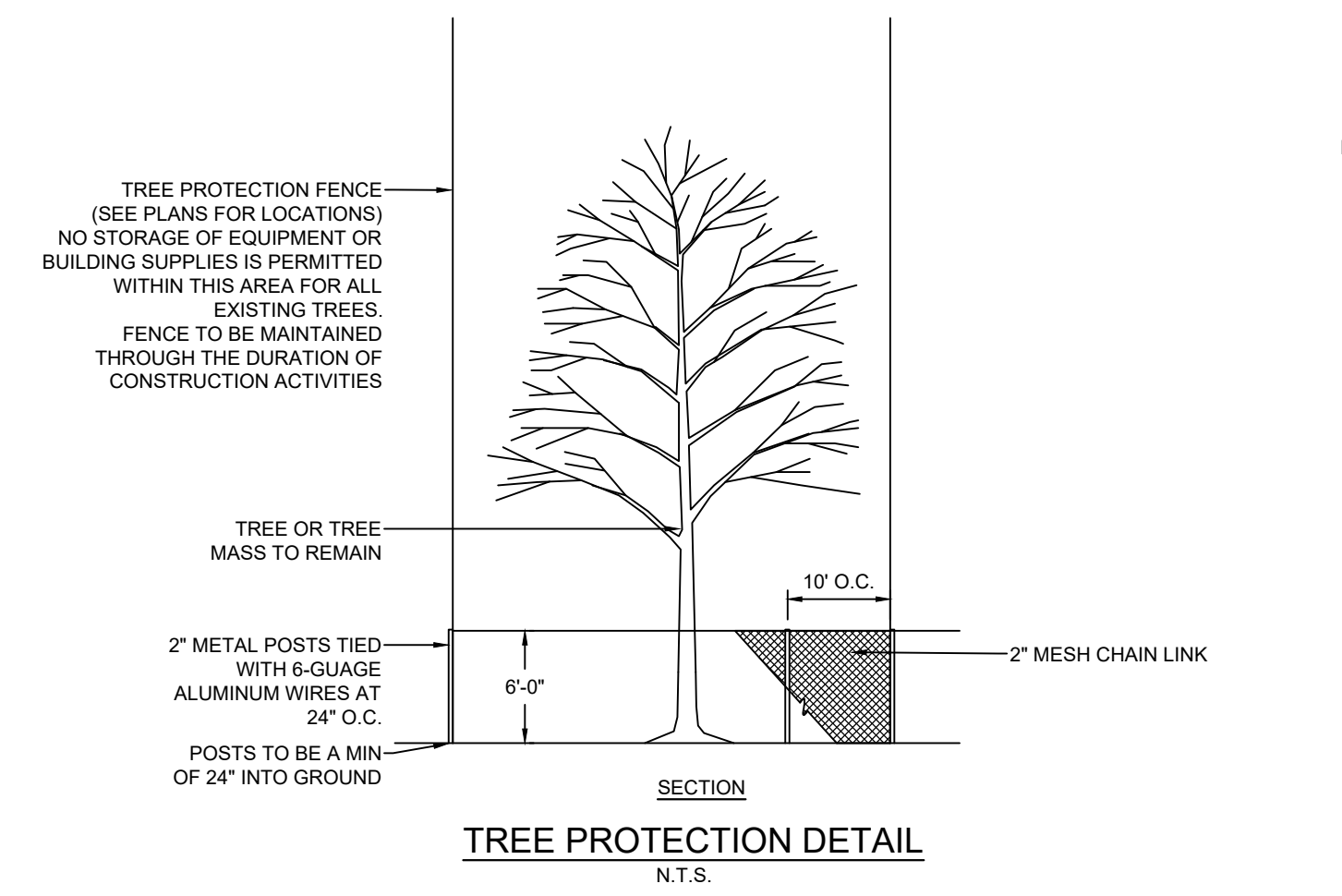
TIGHTEN WIRE OF CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE ENOUGH TO ACCOMMODATE 1.5" (35MM) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

**TREE STAKING DETAIL - TREES 75MM (3 IN.) CALIPER OR LESS**



**NOTE:**  
THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8' SQUARE, OPEN TO THE SKY AND IS NOT COVERED BY ANY PAVING OR GRATING.

**EVERGREEN TREE PLANTING DETAIL**  
N.T.S.

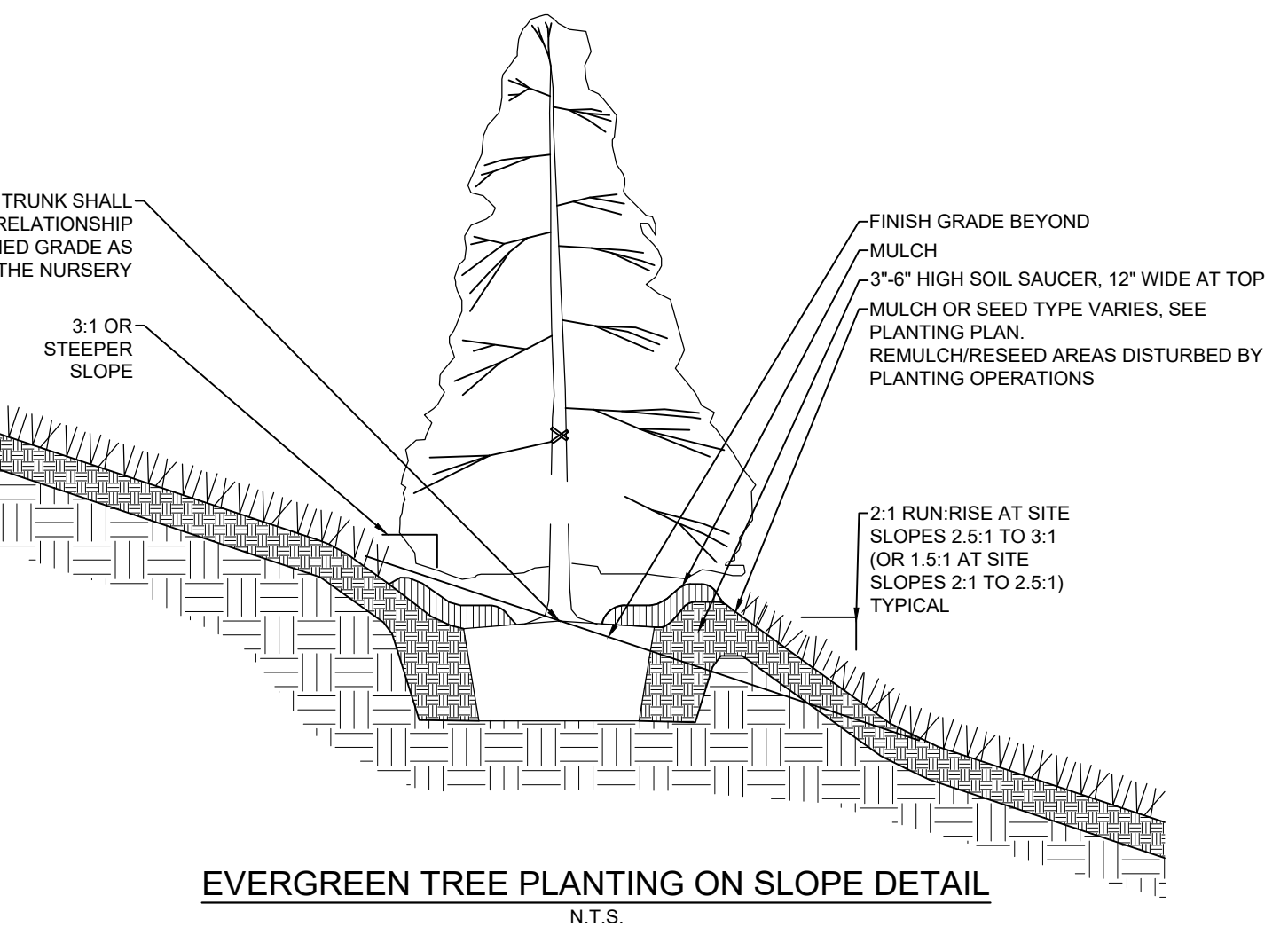


**TREE PROTECTION DETAIL**  
N.T.S.

**TREE PROTECTION SPECIFICATIONS:**

1. PRE-CONSTRUCTION PRUNING:
  - 1.1. SOME TREES MAY REQUIRE LOWER-BRANCH PRUNING TO ALLOW FOR THE OPERATION OF CONSTRUCTION EQUIPMENT. IT MAY BE NECESSARY TO PRUNE TO A HEIGHT OF 15' OR MORE TO ALLOW FOR CLEARANCE OF CONSTRUCTION VEHICLES. TRAINED PERSONNEL SHOULD DO A PRE-CONSTRUCTION PRUNING. ALL WORK PERFORMED BY PRUNING CREWS SHOULD BE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
2. CONSTRUCTION PERSONNEL NOTIFICATION:
  - 2.1. ALL CONTRACTOR EMPLOYEES, INCLUDING SUPERVISORY PERSONNEL AND ALL SUBCONTRACTORS AND THEIR PERSONNEL, SHOULD BE MADE AWARE THAT THE EXISTING TREES TO BE RETAINED ARE VALUABLE AND NEED TO BE PROTECTED.
3. TREE PROTECTION ZONE:
  - 3.1. PRIOR TO CONSTRUCTION TREES AND SHRUBS SHALL BE PROTECTED BY 6" HIGH CHAIN LINK FENCING, STAKED EVERY 10' FEET TO ENSURE THAT THERE IS NOT ENCRoACHMENT WITHIN THE AREA OF THEIR DRIP LINE BY CHANGING GRADE, TRENCHING, STOCKPILING OF BUILDING MATERIALS OR TOPSOIL OR THE COMPACTION OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLES, UNLESS THE FOLLOWING REGULATIONS ARE NOT MET:
    - 3.1.1. AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT, EXISTING TREES WHICH HAVE NOT BEEN ADEQUATELY PROTECTED, MAY BE REQUIRED TO BE REMOVED AND REPLACED.
    - 3.1.2. TREE PROTECTION FENCING SHALL BE ESTABLISHED BY ENCOMPASSING THE DIMENSIONS OF EACH ROOT PROTECTION ZONE AS CALCULATED AT 1.25 FEET (RADIUS) PER ONE INCH OF DBH.
4. TREE WATERING:
  - 4.1. PROVISIONS SHOULD BE MADE TO WATER DESIGNATED TREES DURING PERIOD OF DROUGHTS. PERIODS OF DROUGHT ARE DEFINED AS A TIME WHEN THERE IS LESS THAN 1" OF RAINFALL DURING ANY 30-DAY PERIOD. TREES SHOULD BE WATERED AT A RATE OF 50 GALLONS PER INCH DIAMETER. APPLICATION SHOULD BE MADE SO THAT THE WATER SLOWLY SOAKS INTO THE GROUND AND DOES NOT RUN OFF.
  5. POST-CONSTRUCTION PRUNING:
    - 5.1. SOME TREES MAY BE INADVERTENTLY DAMAGED DURING CONSTRUCTION ACTIVITIES. ALL POST-CONSTRUCTION PRUNING SHOULD BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

**WAIVER:** DUE TO THE LOCATION OF THE EXISTING DRIVEWAYS AND OTHER EXISTING FEATURES, THE LOCATION OF TREE PROTECTION FENCING WILL BE AS SHOWN PER PLAN IN LIEU OF THE REQUIREMENTS SET FORTH IN CHAPTER 55 OF THE TREE PROTECTION STANDARDS.



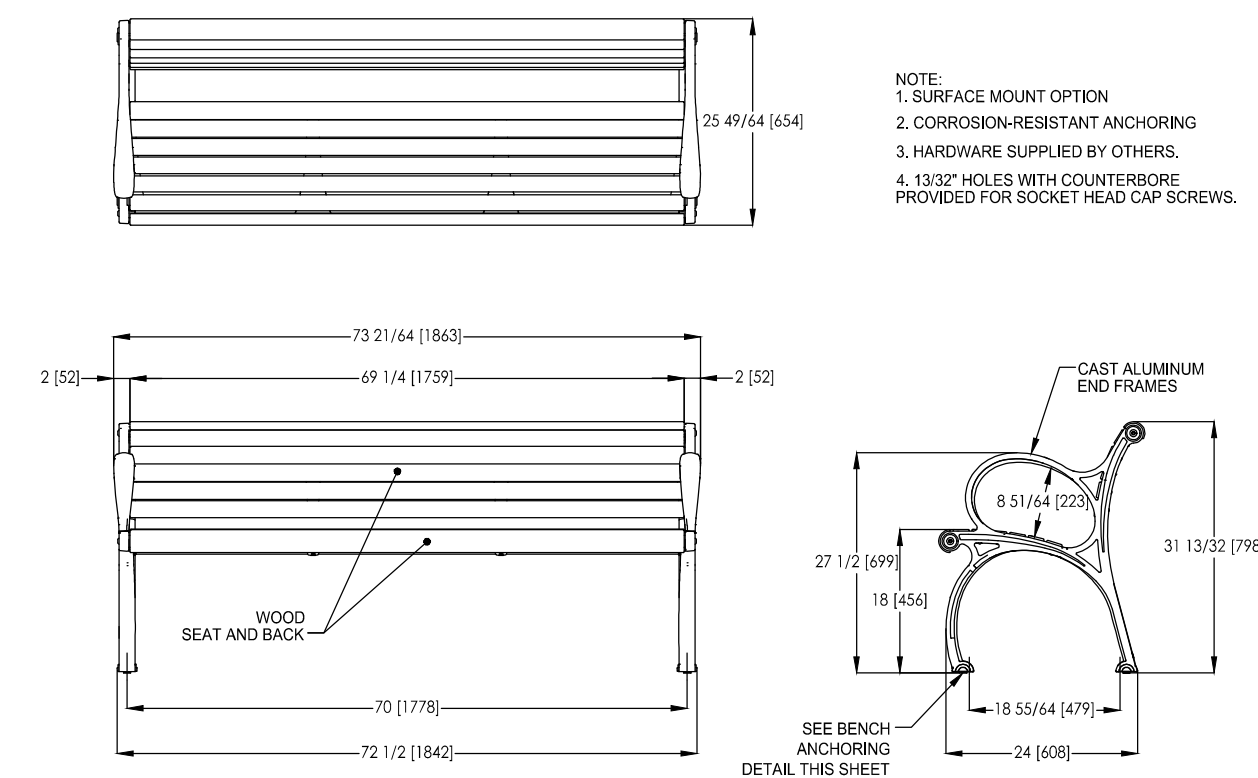
**EVERGREEN TREE PLANTING ON SLOPE DETAIL**  
N.T.S.

3	11/09/2025	DSC	LAND DEVELOPMENT RESUBMISSION
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

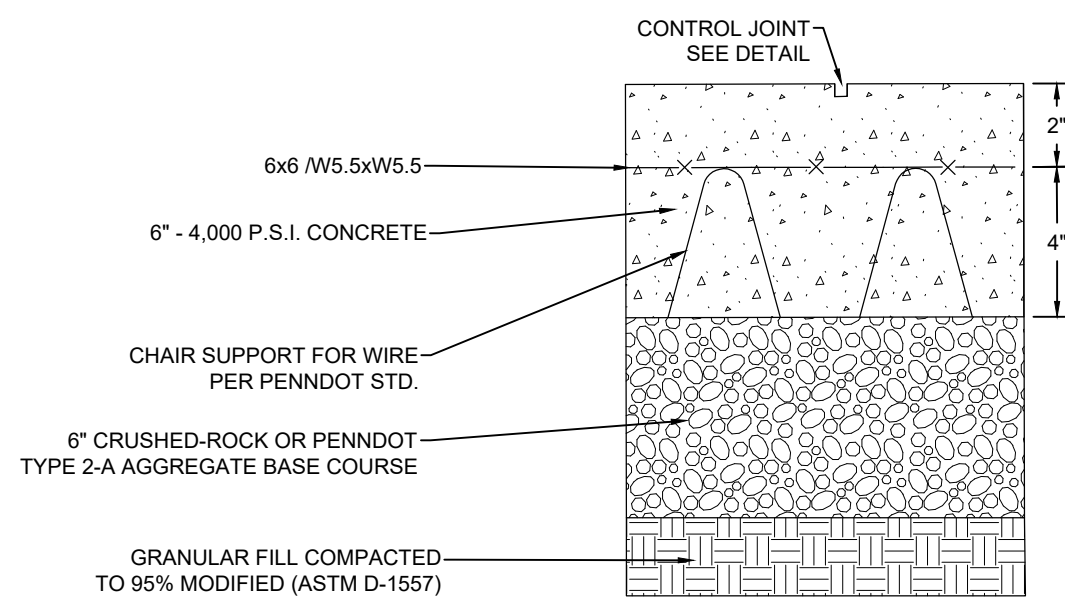
**Landscape Notes & Details**  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP

		DRAWN BY <b>DSC</b>
		CHECKED BY <b>MJE</b>
DATE <b>04-11-2025</b>		DRAWING No. <b>D 2443-04 08</b>
307 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 348-8757 Fax: (215) 348-8759 www.eustaceeng.com		

Plainwell™ Bench, 72" Length, with Wood Seat, Freestanding / Surface Mount Date: 10/29/2019  
 Product Drawing Product Drawing www.landscapiforms.com P/N: 800.521.2546

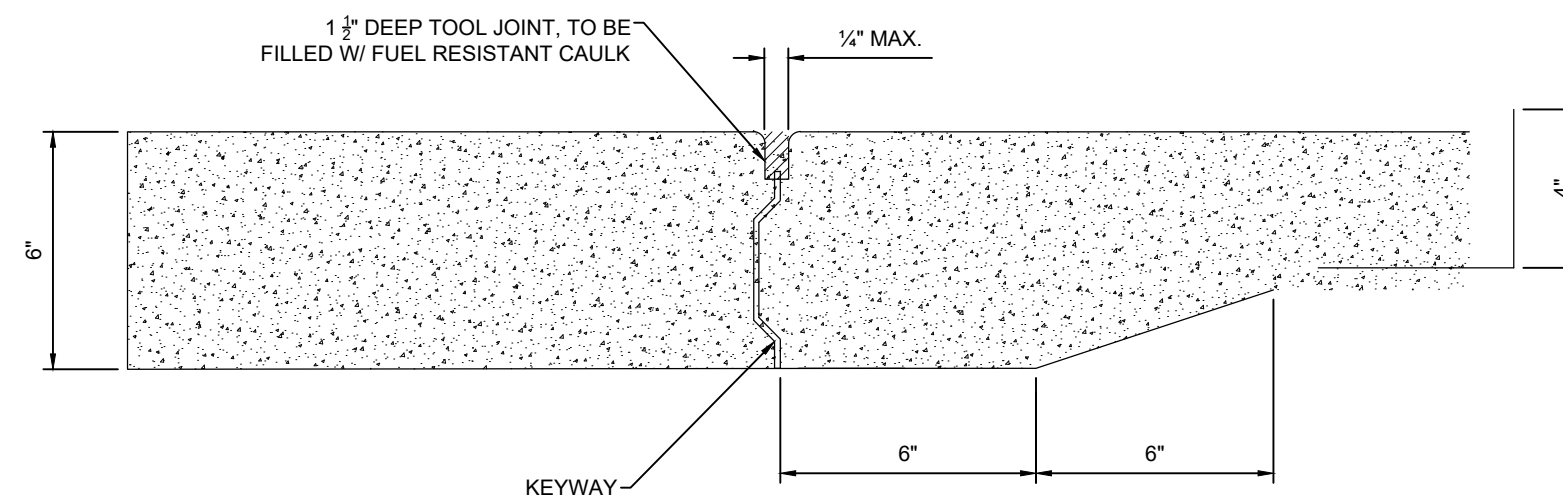


72" BENCH DETAIL  
N.T.S.

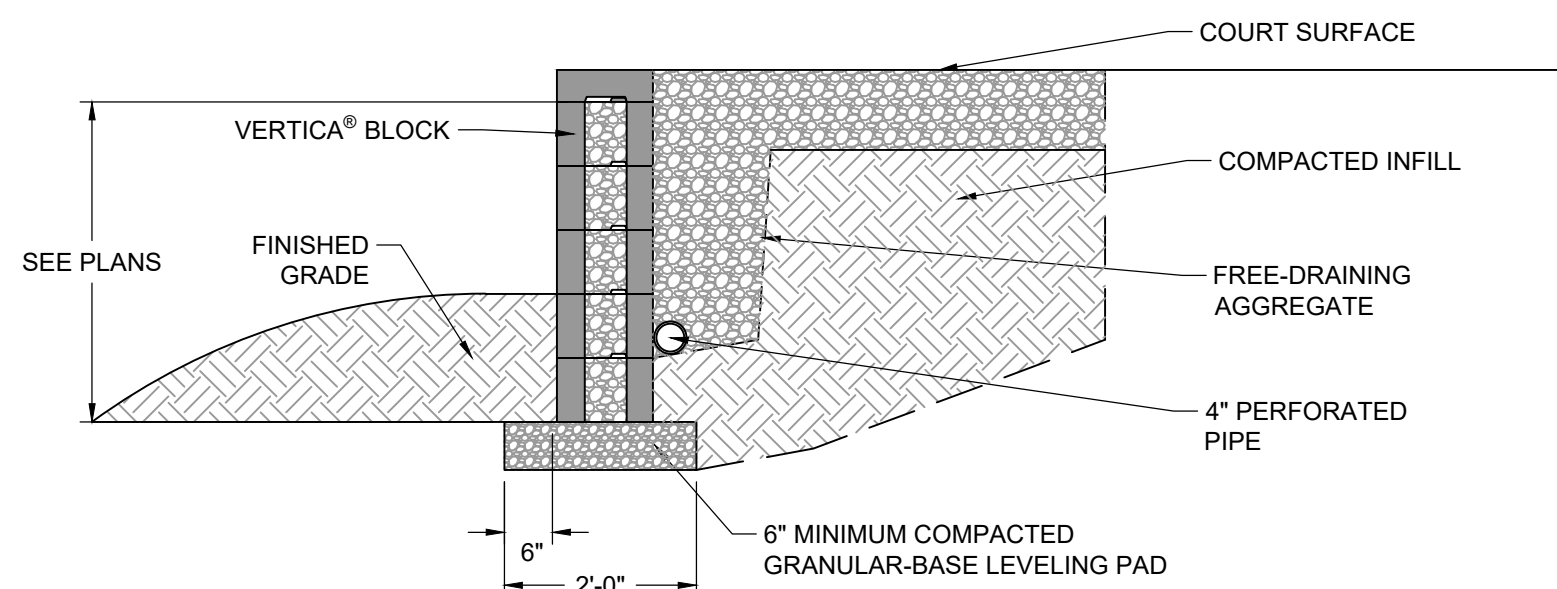


1. MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT SPECIFICATIONS OF THE PENNDOT FORM 408.
2. 1" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED EVERY 40 L.F. AND WHERE THE CONCRETE APRON ABUTS A CURB, BUILDING WALL OR PERMANENT STRUCTURE.
3. CONTROL JOINTS TO BE PLACED EVERY 20 L.F.
4. CONTRACTOR SHALL SUBMIT PATTERN AND COLOR SAMPLES OF STAMPED CONCRETE FOR OWNER APPROVAL.

REINFORCED CONCRETE PAD DETAIL  
N.T.S.

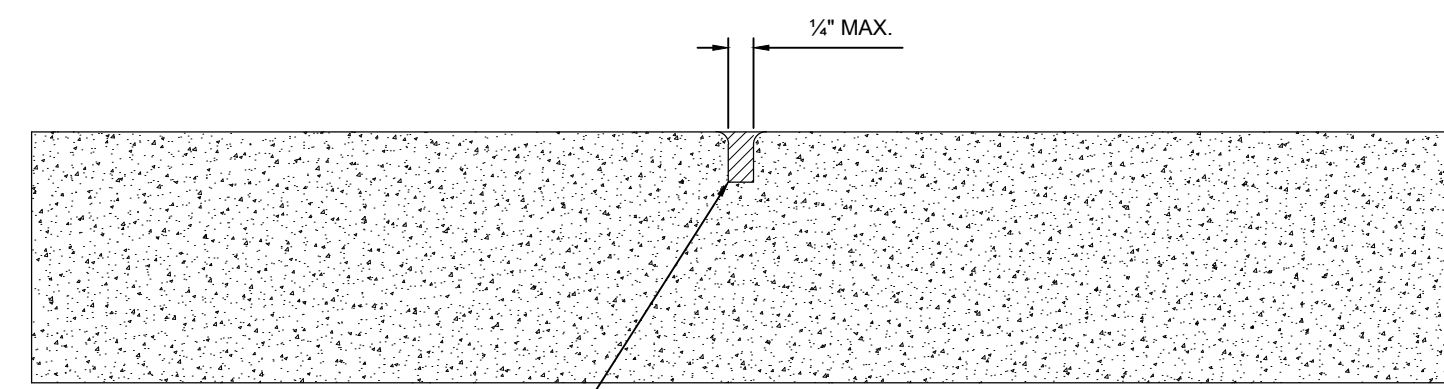


CONSTRUCTION JOINT DETAIL  
N.T.S.

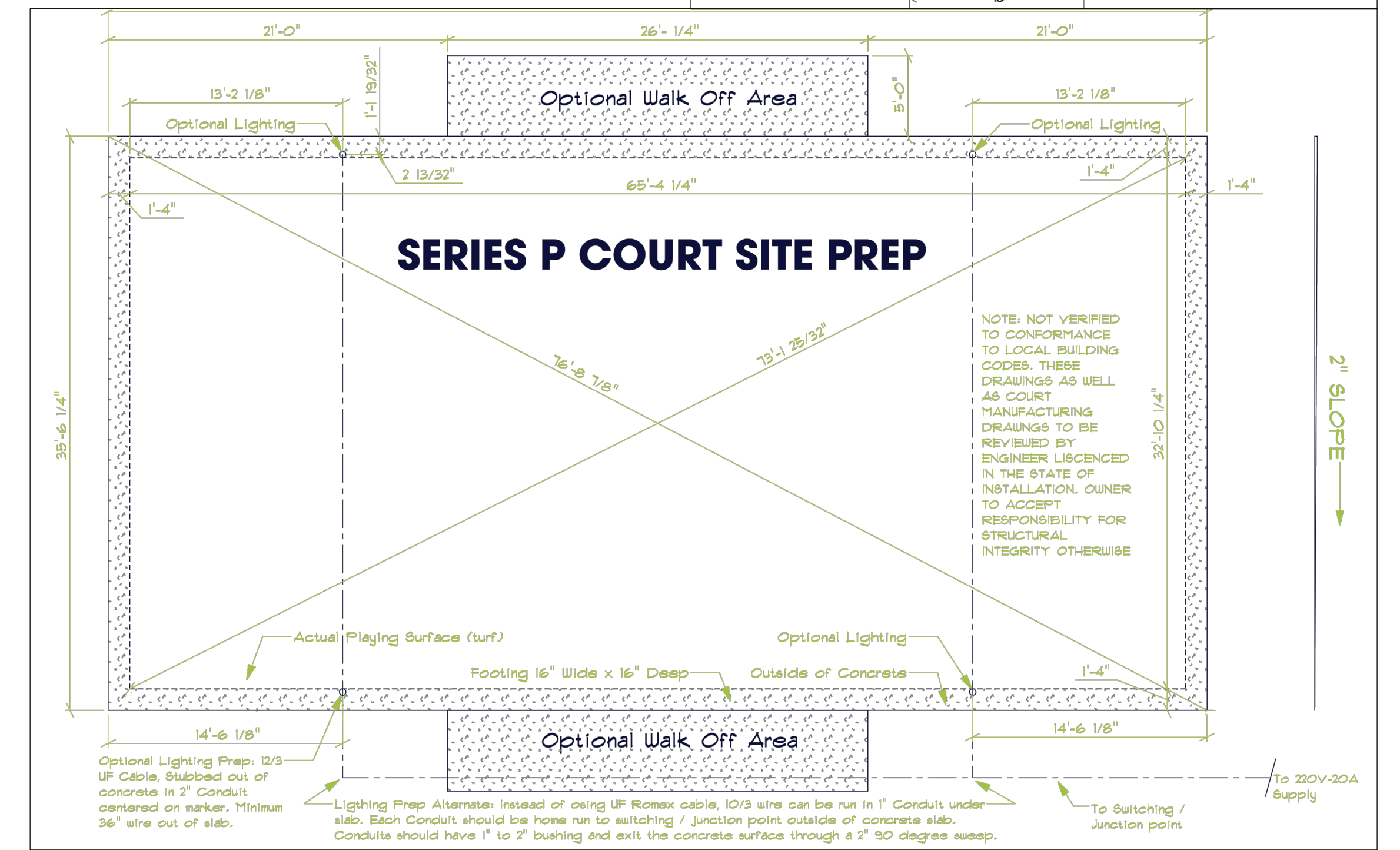
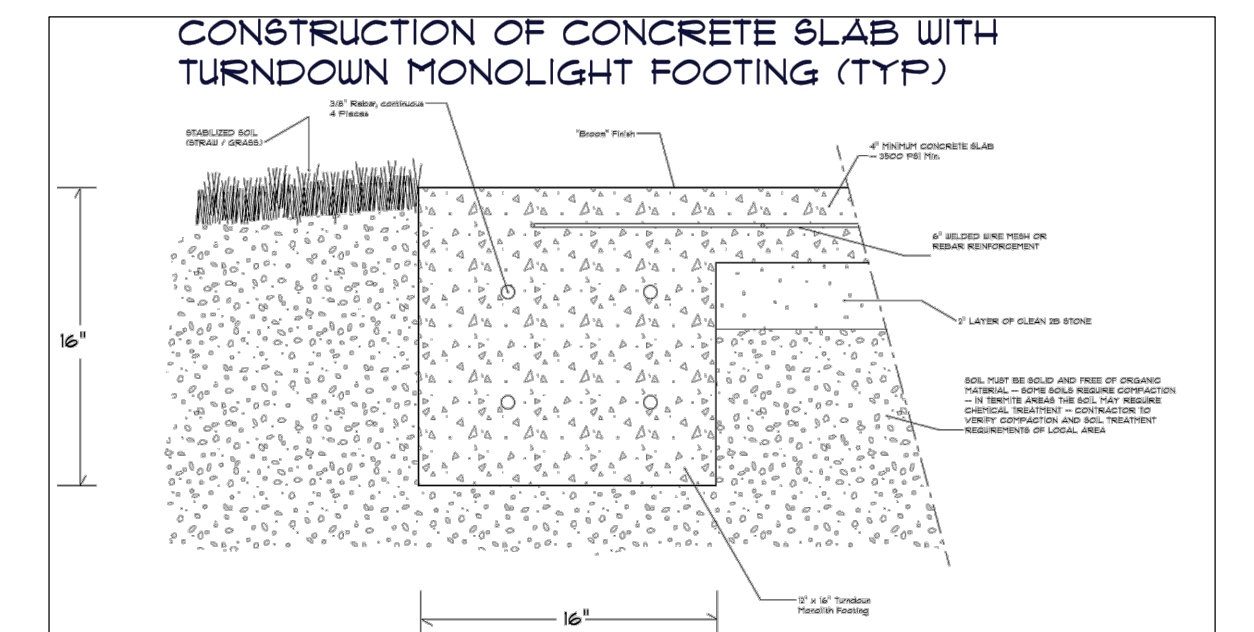


- NOTES:
1. DETAILS AND CALCULATIONS FOR THE PROPOSED RETAINING WALL SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION.
  2. CONCRETE UNIT WALL MANUFACTURER: E.P. HENRY 'COVENTRY WALL III' COLOR: HARVEST BLEND
  3. INSTALL PER MANUFACTURER'S INSTRUCTIONS
  4. CONTRACTOR TO SUBMIT FULLY ENGINEERED DRAWINGS BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF PENNSYLVANIA FOR APPROVAL
  5. WHERE WALL UNITS ARE EXPOSED TO VIEW ON BACK SIDE OF WALL THEY SHALL BE DOUBLE-SIDED UNITS.
  6. 3-SIDED END UNITS SHALL BE USED AT ALL STEPS IN WALLS.
  7. PROVIDE DOUBLE CAP UNITS TO SOFTEN WALL TRANSITIONS AND MAINTAIN SLOPES UNDER 4:1.

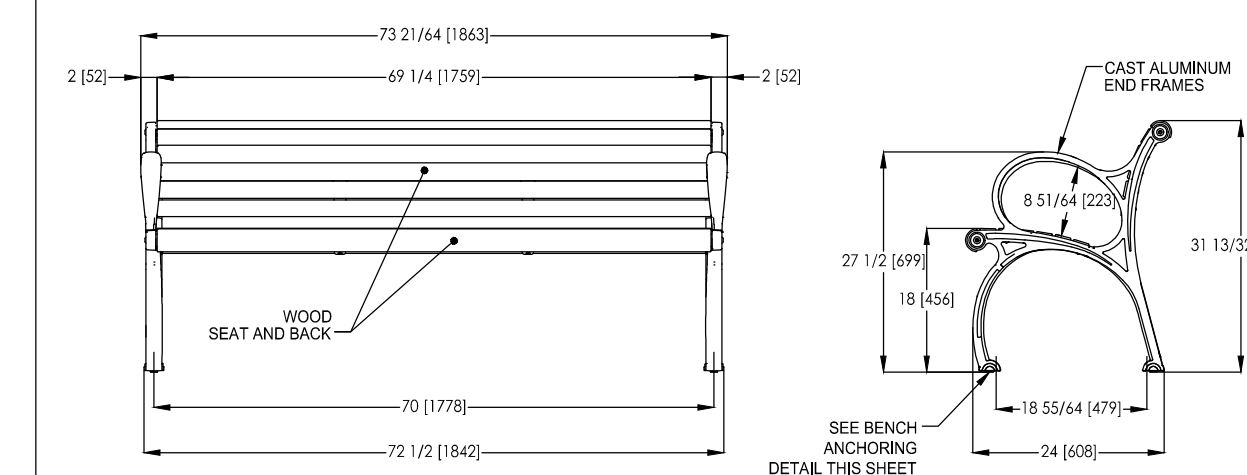
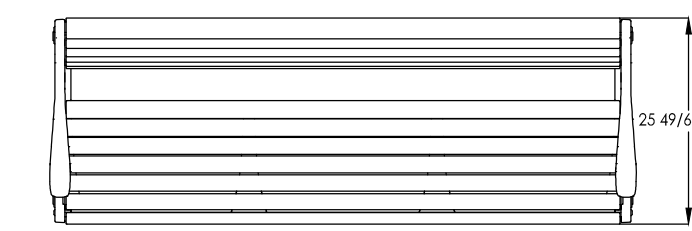
MODULAR CONCRETE UNIT RETAINING WALL  
N.T.S.



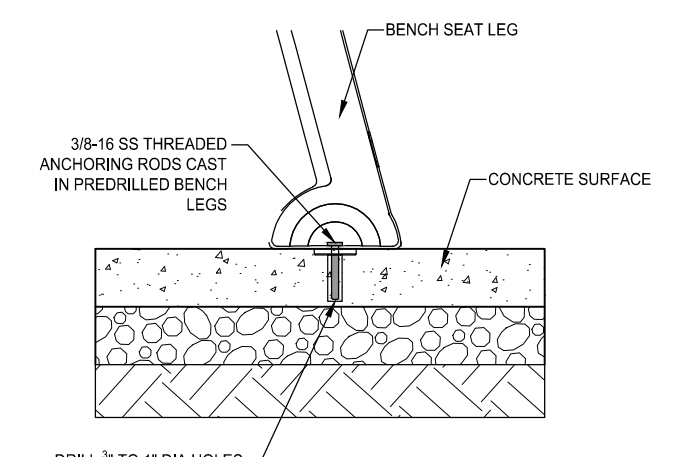
CONTROL JOINT DETAIL  
N.T.S.



PADEL COURT DETAILS  
N.T.S.



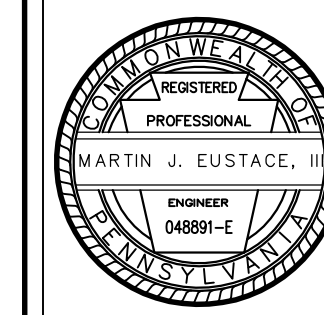
72" BENCH DETAIL  
N.T.S.



BENCH ANCHORING DETAIL  
N.T.S.

3	11/08/2025	DSC	LAND DEVELOPMENT RESUBMISSION
2	09/12/2025	DSC	LAND DEVELOPMENT RESUBMISSION
1	08/20/2025	DSC	LAND DEVELOPMENT RESUBMISSION

Construction Details  
**GREEN VALLEY COUNTRY CLUB**  
**PADEL COURTS**  
 201 RIDGE PIKE, LAFAYETTE HILL, PA - WHITEMARSH TOWNSHIP



**EUSTACE**  
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS  
 MARTIN J. EUSTACE, III  
 807 Easton Road  
 Building B - 2nd Floor  
 Willow Grove, PA 19090  
 Tel: (215) 346-8757  
 Fax: (215) 346-8759  
 www.eustaceeng.com  
 Martin J. Eustace, III, P.E.  
 PA Lic. PE048891E

DRAWN BY DSC  
 CHECKED BY MJE  
 DATE 04-11-2025  
 DRAWING No. D 2443-04 09

**WHITEMARSH TOWNSHIP BOARD OF SUPERVISORS  
RESOLUTION NO. 2026- \_\_\_\_\_**

**A RESOLUTION AUTHORIZING A CONDITIONAL WAIVER  
OF A LAND DEVELOPMENT APPLICATION**

**WHEREAS**, Section 105-10, "Exception to literal enforcement of standards," Chapter 105, "Subdivision and Land Development" of the Code (the "**Code**") of Whitmarsh Township (the "**Township**") provides that the Board of Supervisors (the "**Board**") may waive or modify any mandatory provision of Chapter 105, when literal compliance with same is shown to the satisfaction of the Board to be unreasonable or to cause undue hardship, and further provided that any such modification will not be contrary to the public interest; and

**WHEREAS**, by Resolution No. 2025-10, a copy of which is attached hereto and incorporated herein by reference as **Exhibit "A"**, adopted by the Board on April 10, 2025, Green Valley Country Club (the "**Applicant**") received a waiver of land development for its original plan proposing two separate projects on its property located at 201 Ridge Pike, Lafayette Hill, PA 19444 (the "**Property**"): (1) the removal of an existing 2,360 sf barn and its replacement with a new 2,592 sf pole barn, and (2) the construction of 2 padel courts totaling 4,852 sf, with concrete walkway and shade areas (collectively the "**Original Project**"), as depicted on **Plan SLD #01-25**, consisting of three separate plans as follows: (1) "Overall Location Plan", (single sheet) dated February 3, 2025, revised March 11, 2025; (2) "Pole Barn Plan Set" consisting of 7 sheets, dated November 7, 2024, revised January 17, 2025; and (3) "Padel Courts Plan Set" originally consisting of 10 sheets dated November 15, 2024, revised as a 13-sheet plan set dated March 11, 2025, all prepared by Eustace Engineering (collectively, the "**Original Plan**"); and

**WHEREAS**, on September 16, 2025, the Applicant submitted an application for a revised waiver of land development (the "**Revised Waiver Request**") based on plans dated April 11, 2025, last revised, November 8, 2025, consisting of 11 sheets, and prepared by Eustace Engineering (the "**Revised Plan**"). The Revised Waiver Request is attached hereto as **Exhibit "B"** and incorporated herein by reference; and

**WHEREAS**, the Revised Plan contains revisions to the location and layout of the proposed padel courts only, with no revisions proposed to the pole barn (the "**Revised Project**"); and

**WHEREAS**, on December 9, 2025, the Whitmarsh Township Planning Commission reviewed the Applicant's Revised Waiver Request and recommended that the Revised Waiver Request be conditionally approved; and

**WHEREAS**, the Township Director of Planning and Zoning/Zoning Officer reviewed the Applicant's Revised Waiver Request and identified certain zoning issues regarding the proposed Project, in a Zoning Ordinance Compliance Review letter dated November 5, 2025, attached hereto as **Exhibit "C"** and incorporated herein by reference; and

**WHEREAS**, the Township Engineer has reviewed the Applicant's Revised Waiver Request and has recommended its approval, as indicated in the Township Engineer's review letter dated September 18, 2025, attached hereto as **Exhibit "D"** and incorporated herein by reference; and

**WHEREAS**, the Board has determined that the Applicant has satisfactorily established through testimony that, due to the limited scope of the Revised Project, the Revised Waiver Request will not be contrary to the public interest.

**NOW, THEREFORE, BE IT RESOLVED**, and it is hereby resolved by the Board of Supervisors of Whitmarsh Township that Land Development for the Revised Project is hereby waived subject to the satisfaction of the following conditions:

1. The Applicant shall comply with all conditions of Resolution 2025-10 (see **Exhibit "A"** hereto), except as amended by this Resolution.
2. The Applicant shall pay all Township fees and costs, including but not limited to legal, engineering, and administrative fees, for all Township reviews associated with the Revised Project (the "**Review Fees**"). If costs exceed the escrow on deposit, the Applicant agrees to pay whatever additional applicable Review Fees there may be.
3. The Applicant shall comply with the comments of the Director of Planning and Zoning/Zoning Officer dated November 5, 2025 (see **Exhibit "C"** hereto) and the comments of the Township Engineer dated September 18, 2025 (see **Exhibit "D"** hereto).
4. The Applicant shall comply with all applicable laws, ordinances and regulations.

5. The Applicant shall obtain and shall comply with all permits and approvals required by any other governmental agency.

6. Prior to performing any work on the Revised Project, the Applicant shall obtain an Earth Disturbance Permit from Whitemarsh Township for each of the 2 projects, along with Shade Tree Commission approval for each of the 2 projects.

Should the Applicant violate any of the foregoing conditions, this Conditional Waiver of Land Development shall be deemed rescinded, and the Applicant shall be required to proceed with Land Development pursuant to Chapter 105 of the Code.

This Conditional Waiver of Land Development Application does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Original Plan or the Revised Plan. Furthermore, this Conditional Waiver of Land Development approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within seven (7) days of receipt of this Resolution, such acceptance to be evidenced by Applicant's or Applicant's agent's signature below.

**ADOPTED**, as a Resolution by the Whitemarsh Township Board of Supervisors this 12th day of February, 2026.

**ATTEST:**

**WHITEMARSH TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
**CRAIG MCANALLY, SECRETARY**

By: \_\_\_\_\_  
**JACY TOLL, CHAIR**

**THE UNDERSIGNED HEREBY AGREES TO THE ABOVE CONDITIONAL WAIVER OF LAND DEVELOPMENT:**

**APPLICANT:  
GREEN VALLEY COUNTRY CLUB**

By: \_\_\_\_\_  
\_\_\_\_\_ / \_\_\_\_\_

Dated: \_\_\_\_\_

DRAFT

**EXHIBIT "A"**

**RESOLUTION NO. 2025-10  
April 10, 2025**

DRAFT

**EXHIBIT "B"**

**REVISED WAIVER REQUEST  
September 16, 2025  
[Attached]**

DRAFT

**EXHIBIT "C"**

**ZONING COMPLIANCE REVIEW**

**November 5, 2025**

**[Attached]**

DRAFT

**EXHIBIT "D"**

**GILMORE & ASSOCIATES, INC. REVIEW LETTER**  
**September 18, 2025**  
**[Attached]**

DRAFT

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**WHITEMARSH TOWNSHIP**

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**To:** Craig McAnally, Township Manager  
**From:** Nick Delaney, Program Coordinator, Parks and Recreation  
Tom Blomstrom, Director, Parks and Recreation  
**Subject:** Donation Check Request  
**Date:** 01/28/2026

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**Martin Luther King Jr. Clothing Drive 2026**

Whitemarsh Township Parks & Recreation hosted the 9th Annual MLK Clothing Drive Fundraiser. Whitemarsh Township residents and non-residents were able to drop off usable and wearable men's, women's, and children's clothes, shoes, accessories, belts, handbags, hats, scarves, ties, gloves, and so much more. There were tax receipts offered to individuals who donated. The drop off location was at the Cedar Grove Barn, 100 Cedar Grove Road, Conshohocken, PA 19428. There were five official staffed drop off dates varying in times: Wednesday, January 14th 8:00 A.M.-2:00 P.M., Thursday, January 15th 8:00 A.M.-2:00 P.M., Friday, January 16th 8:00 A.M.- 2:00 P.M., Saturday, January 17th 8:00 A.M. -12:00 P.M., and Monday, January 19th 8:00 A.M. -2:00 P.M. During the entirety of the fundraiser, over 160 individuals dropped off a total of **607 bags**. The breakdown of total bags per day is as follows; 1/14: 69 bags, 1/15: 116 bags, 1/16: 163 bags, 1/17: 195 bags, 1/19: 358 bags , 1/20-1/23: 607 bags. Similar to all past years, the most popular drop off date was Martin Luther King Day, Monday, January 19th. On Friday, January 23rd, A&E Clothing Corporation came to the Barn at 10:00 A.M. to pick up the bags. On Tuesday, January 27th, A&E informed us that our clothing drive collected **5,179 lbs.** worth of donations. A check was issued for a grand total of **\$1,035.80**. Those proceeds will go towards Township Day on Saturday, April 25, 2026, and the Colonial Neighborhood Council. Specifically, 75% -- **\$776.85** to Whitemarsh Township and the remaining 25% -- **\$258.95** to Colonial Neighborhood Council. It was a slower start than in years past due to the snowstorms, and the storm over the weekend did not help. However, the community still showed strong support and helped donate to a great cause. I would like to thank the Public Works team for coming out and assisting with loading all 607 bags onto the truck. Their help made the process go much smoother and allowed us to clean up the event quickly and efficiently. I have already scheduled the truck for next year on January 22nd from 10:00–11:00 AM, and A&E has confirmed. The check will be mailed to us this week.

The Parks and Recreation Department respectfully requests the Whitemarsh Township Board of Supervisors to release the donation check from A & E Clothing Corporation in the amount of \$258.95 from the Township Day Expenses (Account #0945700-557100). This check will be given to the Colonial Neighborhood Council located at 107 E 4th Ave, Conshohocken, PA 19428. The check was for the cost of goods A & E collected from the Whitemarsh Township Parks & Recreation 2026 Annual Clothing Drive. Warm regards.

Nick Delaney  
Program Coordinator  
2391 Harts Lane  
Lafayette Hill, PA 19444  
Phone: 610-828-7276 x 2400  
Email: ndelaney@whitemarshwp.org











GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

January 26, 2026

Whitemarsh Township Board of Supervisors  
Whitemarsh Township Municipal Building  
616 Germantown Pike  
Lafayette Hill, PA 19444

ATTENTION: Mr. Craig T. McAnally, Township Manager

RE: ESCROW RELEASE NO. 4  
561 Spring Mill Avenue  
Whitemarsh Township, Montgomery County, Pennsylvania  
S/LD #02-21  
Our Project Number 2021-05094

Dear Mr. McAnally:

We have reviewed the request for Escrow Release submitted to us by the developer's representative, Marc Pellicciotta; based on a recent inspection of the development, it has been determined that the items listed have been completed. Therefore, we are enclosing Escrow Release No. 4 for 561 Spring Mill Avenue in the amount of:

One Hundred Fifty-Six Thousand, Four Hundred Nineteen Dollars and Seventeen Cents

(\$156,419.17)

Included in Release No. 4 is one (1) copy of each of the following:

Completion Certificate and Authorization for Reduction  
Payment Request Breakdown

After the Certificate of Completion is signed, copies of each of the above should be transmitted as follows:  
Whitemarsh Township - one copy, and DP Spring Mill Developers, LLC - two copies.

Sincerely,

Krista Heinrich, P.E., LEED-AP, CME, CBLP  
Township Engineer

cc: Sean Kilkenny, Esq.; The Law Offices of Sean Kilkenny LLC; Township Solicitor (*via email*)  
Marc Pellicciotta; DP Spring Mill Developers, LLC (*via email*)

O:\MUNICIPAL\2021\2105094-WshT\_561 Spring Mill Ave S-LD 02-21\Construction - LD\Escrow Releases\Release #4.doc

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

**561 SPRING MILL AVENUE - S/LD # 02-21  
RELEASE #4**

**COMPLETION CERTIFICATE AND AUTHORIZATION FOR REDUCTION**

We, the undersigned, hereby certify that the work provided for in a certain Development Agreement between the Township of Whitmarsh and DP Spring Mill Developers, dated the 1<sup>st</sup> day of August, 2023, relative to the construction and installation of certain improvements have been completed to the extent of One Hundred Seventy-Two Thousand, Nine Hundred Fifty-Four Dollars and Sixty-Six Cents (\$172,954.66), and this Certificate authorizes Meridian Bank to reduce Irrevocable Letter Standby of Credit No. 7105463 by One Hundred Fifty-Six Thousand, Four Hundred Nineteen Dollars and Seventeen Cents (\$156,419.17), pursuant to a Financial Security Agreement dated the 1<sup>ST</sup> day of August, 2023 executed by Marc Pellicciotta, Managing Member of DP Spring Mill Developers, LLC. It is agreed that this reduction shall not be construed as acceptance of the work by the Township, nor shall this Certificate act or constitute any waiver by said Township, and said Township hereby reserves the right to re-inspect the said work and to require the Developer referred to in said Development Agreement to correct any and all defects and deficiencies.

DATED: January 26, 2026

  
\_\_\_\_\_  
Township Engineer  
Gilmore & Associates, Inc.

Escrowed Amount	\$	868,746.97
Current Release	\$	156,419.17
Released to Date	\$	780,067.28
Remaining Escrow	\$	88,679.69

\_\_\_\_\_  
Township Manager

ITEM		ESCROW				CURRENT RELEASE		RELEASED TO DATE		ESCROW REMAINING	
No.	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL COST	QTY	COST	QTY	COST	QTY	COST
<b>A</b>	<b>EROSION &amp; SEDIMENT CONTROL</b>										
1	Temporary Stabilization	1	LS	\$2,940.00	\$2,940.00			100.00%	\$2,940.00	0.000%	\$0.00
2	Construction Entrance	2	EA	\$2,259.53	\$4,519.05			2.00	\$4,519.05	0.00	\$0.00
3	Wash Down Area	2	EA	\$2,620.28	\$5,240.56			2	\$5,240.56	0	\$0.00
4	Inlet Protection	9	EA	\$284.42	\$2,559.78			9.00	\$2,559.78	0.00	\$0.00
5	24" Compost Filter Sock	570	LF	\$15.00	\$8,550.00			570	\$8,550.00	0	\$0.00
6	18" Compost Filter Sock	497	LF	\$10.00	\$4,970.00			497	\$4,970.00	0	\$0.00
7	12" Compost Filter Sock	197	LF	\$5.50	\$1,083.50			197	\$1,083.50	0	\$0.00
8	Orange Construction Fence	592	LF	\$3.22	\$1,906.24			592	\$1,906.24	0	\$0.00
9	Temporary Seeding	1	LS	\$3,500.00	\$3,500.00			100%	\$3,500.00	0%	\$0.00
10	Final Seeding	1	LS	\$2,000.00	\$2,000.00	100%	\$2,000.00	100%	\$2,000.00	0%	\$0.00
11	E&S Control Mainatnenace	1	LS	\$3,750.00	\$3,750.00	100%	\$3,750.00	100%	\$3,750.00	0%	\$0.00
<b>B</b>	<b>DEMOLITION AND CLEARING</b>										
1	Clearing & Grubbing	1	LS	\$9,605.00	\$9,605.00			100%	\$9,605.00	0%	\$0.00
2	Paving Demolition on Site	2,231	SY	\$4.44	\$9,905.64			2231	\$9,905.64	0	\$0.00
3	Paving Cut Back for Curb Patching	42	SY	\$68.81	\$2,890.02			42	\$2,890.02	0	\$0.00
4	Concrete Walk Demolition	46	SY	\$35.01	\$1,610.46			46	\$1,610.46	0	\$0.00
5	Concrete Curbing Demolition	250	LF	\$11.49	\$2,872.50			250	\$2,872.50	0	\$0.00
6	Existing Building Demolition	1	LS	\$40,000.00	\$40,000.00			100%	\$40,000.00	0%	\$0.00
7	Utility Pole Relocation	1	EA	\$7,500.00	\$7,500.00			1	\$7,500.00	0	\$0.00
<b>C</b>	<b>EARTHWORK</b>										
1	Strip Topsoil & Stockpile	100%	LS	\$2,708.94	\$2,708.94			100%	\$2,708.94	0%	\$0.00
2	Cut	1,864	CY	\$2.69	\$5,014.16			1864.00	\$5,014.16	0.00	\$0.00
3	Fill	1,879	CY	\$2.39	\$4,490.81			1879	\$4,490.81	0	\$0.00
4	Rough Grade	1	LS	\$3,126.06	\$3,126.06			100%	\$3,126.06	0%	\$0.00
5	Fine Grade	1	LS	\$9,280.68	\$9,280.68	19.19%	\$1,780.68	100.00%	\$9,280.68	0.00%	\$0.00
6	Respread Topsoil	1	LS	\$5,913.75	\$5,913.75			100.00%	\$5,913.75	0.00%	\$0.00
<b>D</b>	<b>STORM SEWER</b>										
1	12" HDPE	16	LF	\$60.12	\$961.92			16	\$961.92	0	\$0.00
2	18" HDPE	182	LF	\$61.01	\$11,103.82			182	\$11,103.82	0	\$0.00
3	Type C Inlet	2	EA	\$3,250.00	\$6,500.00			2	\$6,500.00	0	\$0.00
4	Type C Doghouse Inlet	2	EA	\$3,766.91	\$7,533.82			2.00	\$7,533.82	0.00	\$0.00
5	Type M Inlet	2	EA	\$3,250.00	\$6,500.00			0	\$0.00	2	\$6,500.00
6	Yard Drain	1	EA	\$250.00	\$250.00			1	\$250.00	0	\$0.00
7	Manhole	4	EA	\$3,500.00	\$14,000.00			4	\$14,000.00	0	\$0.00
8	Outlet Structure	2	EA	\$4,000.00	\$8,000.00			2	\$8,000.00	0	\$0.00
9	Pipe Storage Bed 1	331	CY	\$295.29	\$97,740.99			331	\$97,740.99	0	\$0.00
10	Pipe Storage Bed 2	228	CY	\$264.02	\$60,196.56			228.00	\$60,196.56	0.00	\$0.00
11	Tie into Existing Storm Line	1	EA	\$6,397.08	\$6,397.08			1	\$6,397.08	0	\$0.00
12	Trench Drain	167	LF	\$80.00	\$13,360.00	167	\$13,360.00	167	\$13,360.00	0	\$0.00

ITEM		ESCROW				CURRENT RELEASE		RELEASED TO DATE		ESCROW REMAINING	
No.	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL COST	QTY	COST	QTY	COST	QTY	COST
<b>E</b>	<b>WATER LINE</b>										
1	Tie-In/Tap Existing	1	EA	\$10,786.88	\$10,786.88			0	\$0.00	1	\$10,786.88
2	8" DIP CL 52	176	LF	\$75.14	\$13,224.64			176	\$13,224.64	0	\$0.00
3	8" DIP CL 52 with Backfill	460	LF	\$109.55	\$50,393.00			460	\$50,393.00	0	\$0.00
4	3/4" K' Copper Laterals (Stubbed)	175	LF	\$48.88	\$8,554.00			175	\$8,554.00	0	\$0.00
5	8" Fittings	4	EA	\$568.65	\$2,274.60			4	\$2,274.60	0	\$0.00
6	8" Tee	1	EA	\$873.52	\$873.52			1	\$873.52	0	\$0.00
7	8" Valve	3	EA	\$2,464.33	\$7,392.99			3	\$7,392.99	0	\$0.00
8	Hydrant Assembly	1	EA	\$7,605.51	\$7,605.51			1	\$7,605.51	0	\$0.00
9	8" x 2" Blow Off	1	EA	\$2,521.53	\$2,521.53			1	\$2,521.53	0	\$0.00
10	3/4" Curb Corp & Stop	19	EA	\$785.67	\$14,927.73			19	\$14,927.73	0	\$0.00
11	Testing	1	LS	\$2,692.67	\$2,692.67	100%	\$2,692.67	100%	\$2,692.67	0%	\$0.00
<b>F</b>	<b>CONCRETE</b>										
1	Concrete Curbing	795	LF	\$27.06	\$21,512.70	137.20	\$3,712.70	795.00	\$21,512.70	0.00	\$0.00
2	Concrete Sidewalk	355	SY	\$35.00	\$12,425.00	355	\$12,425.00	355	\$12,425.00	0	\$0.00
3	Concrete Curb Ramps	5	EA	\$3,000.00	\$15,000.00	5	\$15,000.00	5	\$15,000.00	0	\$0.00
<b>G</b>	<b>PAVING</b>										
1	Temp Striping and Signage	1	LS	\$1,130.00	\$1,130.00	100%	\$1,130.00	100%	\$1,130.00	0%	\$0.00
2	Pavement Curblin Restoration	42	SY	\$125.33	\$5,263.86	42	\$5,263.86	42	\$5,263.86	0	\$0.00
3	Utility Trench Restoration	417	SY	\$70.00	\$29,190.00			417.000	\$29,190.00	0.000	\$0.00
4	6" 2A Modified Stone	1,325	SY	\$7.00	\$9,275.00			1325	\$9,275.00	0	\$0.00
5	5" 25mm Superpave Base Crouse	1,325	SY	\$22.00	\$29,150.00			1325.00	\$29,150.00	0.00	\$0.00
6	Sweep & Tack	1,325	SY	\$1.00	\$1,325.00	1325	\$1,325.00	1325	\$1,325.00	0	\$0.00
7	2" 9.5mm Superpave Wearing Course	1,325	SY	\$9.00	\$11,925.00	1325	\$11,925.00	1325	\$11,925.00	0	\$0.00
8	Sweep & Tack - Public Streets	1,845	SY	\$1.00	\$1,845.00	1845	\$1,845.00	1845	\$1,845.00	0	\$0.00
9	2" Mill & Overlay - Public Streets	1,845	SY	\$12.00	\$22,140.00	1845	\$22,140.00	1845	\$22,140.00	0	\$0.00
10	Joint Sealant	1	LS	\$1,500.00	\$1,500.00	1	\$1,500.00	100%	\$1,500.00	0%	\$0.00
11	Directional Arrows	4	EA	\$75.00	\$300.00	4	\$300.00	4	\$300.00	0	\$0.00
12	Traffic Control Signage	8	EA	\$125.00	\$1,000.00	8	\$1,000.00	8	\$1,000.00	0	\$0.00
<b>H</b>	<b>LANDSCAPING &amp; LIGHTING</b>										
1	Street Trees	21	EA	\$400.00	\$8,400.00	21	\$8,400.00	21	\$8,400.00	0	\$0.00
2	Buffer Landscaping	99	EA	\$200.00	\$19,800.00	99	\$19,800.00	99	\$19,800.00	0	\$0.00
3	Garbage Collection Screening	21	EA	\$75.00	\$1,575.00	21	\$1,575.00	21	\$1,575.00	0	\$0.00
4	Replacement Landscaping	14	EA	\$400.00	\$5,600.00	14	\$5,600.00	14	\$5,600.00	0	\$0.00
5	Ligthing	1	LS	\$10,000.00	\$10,000.00	100.00%	\$10,000.00	100%	\$10,000.00	0%	\$0.00

ITEM		ESCROW				CURRENT RELEASE		RELEASED TO DATE		ESCROW REMAINING	
No.	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL COST	QTY	COST	QTY	COST	QTY	COST
<b>I</b>	<b>MISCELLANEOUS</b>										
1	Survey & Layout	1	LS	\$28,250.00	\$28,250.00			100.00%	\$28,250.00	0.00%	\$0.00
2	Site Preparation	1	LS	\$9,605.00	\$9,605.00			100%	\$9,605.00	0%	\$0.00
3	Retaining Walls	1	LS	\$25,000.00	\$25,000.00			100%	\$25,000.00	0%	\$0.00
4	Guiderail	138	LF	\$35.00	\$4,830.00	138	\$4,830.00	138	\$4,830.00	0	\$0.00
5	Bench	1	EA	\$2,000.00	\$2,000.00	1	\$2,000.00	1	\$2,000.00	0	\$0.00
6	Trash Enclosure	2	EA	\$3,000.00	\$6,000.00	2	\$6,000.00	2	\$6,000.00	0	\$0.00
7	Concrete Monument	7	EA	\$200.00	\$1,400.00	7	\$1,400.00	7	\$1,400.00	0	\$0.00
8	Iron Pin	1	EA	\$100.00	\$100.00	1	\$100.00	1	\$100.00	0	\$0.00
9	As-Built Plans	1	LS	\$4,500.00	\$4,500.00	100%	\$4,500.00	100%	\$4,500.00	0%	\$0.00
	<b>SUBTOTAL</b>				\$789,769.97		\$165,354.91		\$772,483.09		\$17,286.88
	<b>10% CONTINGENCY</b>				\$78,977.00	9.62%	\$7,599.75	107.41%	\$84,832.50	-7.41%	-\$5,855.50
	<b>SUBTOTAL</b>				\$868,746.97		\$172,954.66		\$857,315.59		\$11,431.38
	<b>10% RETAINAGE</b>						\$16,535.49		\$77,248.31		\$77,248.31
	<b>AMOUNT OF RELEASE</b>						\$156,419.17		\$780,067.28		\$88,679.69

**561 SPRING MILL AVENUE (S/LD # 02-21) CONSTRUCTION COST ESCROW - Escrow Release 4**

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL COST	This Period	Previous Period(s)	Total Completed	Percent Complete	Balance to Finish
<b>A EROSION &amp; SEDIMENT CONTROL</b>										
1	Temporary Stabilization	1	LS	\$2,940.00	\$2,940.00	\$ -	\$ 2,940.00	\$ 2,940.00	100%	\$ -
2	Construction Entrance	2	EA	\$2,259.53	\$4,519.05	\$ -	\$ 4,519.05	\$ 4,519.05	100%	\$ -
3	Wash Down Area	2	EA	\$2,620.28	\$5,240.56	\$ -	\$ 5,240.56	\$ 5,240.56	100%	\$ -
4	Inlet Protection	9	EA	\$284.42	\$2,559.78	\$ -	\$ 2,559.78	\$ 2,559.78	100%	\$ -
5	24" Compost Filter Sock	570	LF	\$15.00	\$8,550.00	\$ -	\$ 8,550.00	\$ 8,550.00	100%	\$ -
6	18" Compost Filter Sock	497	LF	\$10.00	\$4,970.00	\$ -	\$ 4,970.00	\$ 4,970.00	100%	\$ -
7	12" Compost Filter Sock	197	LF	\$5.50	\$1,083.50	\$ -	\$ 1,083.00	\$ 1,083.00	100%	\$ -
8	Orange Construction Fence	592	LF	\$3.22	\$1,906.24	\$ -	\$ 1,906.24	\$ 1,906.24	100%	\$ -
9	Temporary Seeding	1	LS	\$3,500.00	\$3,500.00	\$ -	\$ 3,500.00	\$ 3,500.00	100%	\$ -
10	Final Seeding	1	LS	\$2,000.00	\$2,000.00	\$ 2,000.00	\$ -	\$ 2,000.00	100%	\$ -
11	E&S Control Mainatnenace	1	LS	\$3,750.00	\$3,750.00	\$ 3,750.00	\$ -	\$ 3,750.00	100%	\$ -
								\$ -		\$ -
<b>B DEMOLITION AND CLEARING</b>										
1	Clearing & Grubbing	1	LS	\$9,605.00	\$9,605.00	\$ -	\$ 9,605.00	\$ 9,605.00	100%	\$ -
2	Paving Demolition on Site	2,231	SY	\$4.44	\$9,905.64	\$ -	\$ 9,905.64	\$ 9,905.64	100%	\$ -
3	Paving Cut Back for Curb Patching	42	SY	\$68.81	\$2,890.02	\$ -	\$ 2,890.02	\$ 2,890.02	100%	\$ -
4	Concrete Walk Demolition	46	SY	\$35.01	\$1,610.46	\$ -	\$ 1,673.02	\$ 1,673.02	104%	\$ -
5	Concrete Curbing Demolition	250	LF	\$11.49	\$2,872.50	\$ -	\$ 2,872.50	\$ 2,872.50	100%	\$ -
6	Existing Building Demolition	1	LS	\$40,000.00	\$40,000.00	\$ -	\$ 40,000.00	\$ 40,000.00	100%	\$ -
7	Utility Pole Relocation	1	EA	\$7,500.00	\$7,500.00	\$ -	\$ 7,500.00	\$ 7,500.00	100%	\$ -
								\$ -		\$ -
<b>C EARTHWORK</b>										
1	Strip Topsoil & Stockpile	1	LS	\$2,708.94	\$2,708.94	\$ -	\$ 2,708.94	\$ 2,708.94	100%	\$ -
2	Cut	1,864	CY	\$2.69	\$5,014.16	\$ -	\$ 5,014.16	\$ 5,014.16	100%	\$ -
3	Fill	1,879	CY	\$2.39	\$4,490.81	\$ -	\$ 4,490.81	\$ 4,490.81	100%	\$ -
4	Rough Grade	1	LS	\$3,126.06	\$3,126.06	\$ -	\$ 3,366.00	\$ 3,366.00	108%	\$ -
5	Fine Grade	1	LS	\$9,280.68	\$9,280.68	\$ 1,780.68	\$ 7,500.00	\$ 9,280.68	100%	\$ -
6	Respread Topsoil	1	LS	\$5,913.75	\$5,913.75	\$ -	\$ 5,913.75	\$ 5,913.75	100%	\$ -
								\$ -		\$ -
<b>D STORM SEWER</b>										
1	12" HDPE	16	LF	\$ 60.12	\$961.92	\$ -	\$ 961.92	\$ 961.92	100%	\$ -
2	18" HDPE	182	LF	\$ 61.01	\$11,103.82	\$ -	\$ 11,103.82	\$ 11,103.82	100%	\$ -
3	Type C Inlet	2	EA	\$ 3,250.00	\$6,500.00	\$ -	\$ 6,500.00	\$ 6,500.00	100%	\$ -
4	Type C Doghouse Inlet	2	EA	\$ 3,766.91	\$7,533.82	\$ -	\$ 7,533.82	\$ 7,533.82	100%	\$ -
5	Type M Inlet	2	EA	\$ 3,250.00	\$6,500.00	\$ -	\$ 6,500.00	\$ 6,500.00	100%	\$ -
6	Yard Drain	1	EA	\$ 250.00	\$250.00	\$ -	\$ 250.00	\$ 250.00	100%	\$ -
7	Manhole	4	EA	\$ 3,500.00	\$14,000.00	\$ -	\$ 14,000.00	\$ 14,000.00	100%	\$ -
8	Outlet Structure	2	EA	\$ 4,000.00	\$8,000.00	\$ -	\$ 8,000.00	\$ 8,000.00	100%	\$ -
9	Pipe Storage Bed 1	331	CY	\$ 295.29	\$97,740.99	\$ -	\$ 97,740.99	\$ 97,740.99	100%	\$ -
10	Pipe Storage Bed 2	228	CY	\$ 264.02	\$60,196.56	\$ -	\$ 60,196.56	\$ 60,196.56	100%	\$ -
11	Tie into Existing Storm Line	1	EA	\$ 6,397.08	\$6,397.08	\$ -	\$ 6,397.08	\$ 6,397.08	100%	\$ -
12	Trench Drain	167	LF	\$ 80.00	\$13,360.00	\$ 13,360.00	\$ -	\$ 13,360.00	100%	\$ -

<b>E WATER LINE</b>											
1	Tie-In/Tap Existing	1	EA	\$ 10,786.88	\$10,786.88	\$ -	\$ 10,786.88	\$ 10,786.88	100%	\$ -	
2	8" DIP CL 52	176	LF	\$ 75.14	\$13,224.64	\$ -	\$ 13,224.64	\$ 13,224.64	100%	\$ -	
3	8" DIP CL 52 with Backfill	460	LF	\$ 109.55	\$50,393.00	\$ -	\$ 50,393.00	\$ 50,393.00	100%	\$ -	
4	3/4" K Copper Laterals (Stubbed)	175	LF	\$ 48.88	\$8,554.00	\$ -	\$ 8,554.00	\$ 8,554.00	100%	\$ -	
5	8" Fittings	4	EA	\$ 568.65	\$2,274.60	\$ -	\$ 2,274.60	\$ 2,274.60	100%	\$ -	
6	8" Tee	1	EA	\$ 873.52	\$873.52	\$ -	\$ 873.52	\$ 873.52	100%	\$ -	
7	8" Valve	3	EA	\$ 2,464.33	\$7,392.99	\$ -	\$ 7,392.99	\$ 7,392.99	100%	\$ -	
8	Hydrant Assembly	1	EA	\$ 7,605.51	\$7,605.51	\$ -	\$ 7,605.51	\$ 7,605.51	100%	\$ -	
9	8" x 2" Blow Off	1	EA	\$ 2,521.53	\$2,521.53	\$ -	\$ 2,521.53	\$ 2,521.53	100%	\$ -	
10	3/4" Curb Corp & Stop	19	EA	\$ 785.67	\$14,927.73	\$ -	\$ 14,927.73	\$ 14,927.73	100%	\$ -	
11	Testing	1	LS	\$ 2,692.67	\$2,692.67	\$ 2,692.67	\$ -	\$ 2,692.67	100%	\$ -	
<b>F CONCRETE</b>											
1	Concrete Curbing	795	LF	\$ 27.06	\$21,512.70	\$ 3,712.70	\$ 17,800.00	\$ 21,512.70	100%	\$ -	
2	Concrete Sidewalk	355	SY	\$ 35.00	\$12,425.00	\$ 12,425.00	\$ -	\$ 12,425.00	100%	\$ -	
3	Concrete Curb Ramps	5	EA	\$ 3,000.00	\$15,000.00	\$ 15,000.00	\$ -	\$ 15,000.00	100%	\$ -	
<b>G PAVING</b>											
1	Temp Striping and Signage	1	LS	\$ 1,130.00	\$1,130.00	\$ 1,130.00	\$ -	\$ 1,130.00	100%	\$ -	
2	Pavement Curblin Restoration	42	SY	\$ 125.33	\$5,263.86	\$ 5,263.86	\$ -	\$ 5,263.86	100%	\$ -	
3	Utility Trench Restoration	417	SY	\$ 70.00	\$29,190.00	\$ -	\$ 29,190.00	\$ 29,190.00	100%	\$ -	
4	6" 2A Modified Stone	1,325	SY	\$ 7.00	\$9,275.00	\$ -	\$ 9,275.00	\$ 9,275.00	100%	\$ -	
5	5" 25mm Superpave Base Crouse	1,325	SY	\$ 22.00	\$29,150.00	\$ -	\$ 29,150.00	\$ 29,150.00	100%	\$ -	
6	Sweep & Tack	1,325	SY	\$ 1.00	\$1,325.00	\$ 1,325.00	\$ -	\$ 1,325.00	100%	\$ -	
7	2" 9.5mm Superpave Wearing Course	1,325	SY	\$ 9.00	\$11,925.00	\$ 11,925.00	\$ -	\$ 11,925.00	100%	\$ -	
8	Sweep & Tack - Public Streets	1,845	SY	\$ 1.00	\$1,845.00	\$ 1,845.00	\$ -	\$ 1,845.00	100%	\$ -	
9	2" Mill & Overlay - Public Streets	1,845	SY	\$ 12.00	\$22,140.00	\$ 22,140.00	\$ -	\$ 22,140.00	100%	\$ -	
10	Joint Sealant	1	LS	\$ 1,500.00	\$1,500.00	\$ 1,500.00	\$ -	\$ 1,500.00	100%	\$ -	
11	Directional Arrows	4	EA	\$ 75.00	\$300.00	\$ 300.00	\$ -	\$ 300.00	100%	\$ -	
12	Traffic Control Signage	8	EA	\$ 125.00	\$1,000.00	\$ 1,000.00	\$ -	\$ 1,000.00	100%	\$ -	
<b>H LANDSCAPING &amp; LIGHTING</b>											
1	Street Trees	21	EA	\$ 400.00	\$8,400.00	\$ 8,400.00	\$ -	\$ 8,400.00	100%	\$ -	
2	Buffer Landscaping	99	EA	\$ 200.00	\$19,800.00	\$ 19,800.00	\$ -	\$ 19,800.00	100%	\$ -	
3	Garbage Collection Screening	21	EA	\$ 75.00	\$1,575.00	\$ 1,575.00	\$ -	\$ 1,575.00	100%	\$ -	
4	Replacement Landscaping	14	EA	\$ 400.00	\$5,600.00	\$ 5,600.00	\$ -	\$ 5,600.00	100%	\$ -	
5	Ligthing	1	LS	\$ 10,000.00	\$10,000.00	\$ 10,000.00	\$ -	\$ 10,000.00	100%	\$ -	
<b>I MISCELLANEOUS</b>											
1	Survey & Layout	1	LS	\$ 28,250.00	\$28,250.00	\$ -	\$ 28,250.00	\$ 28,250.00	100%	\$ -	
2	Site Preparation	1	LS	\$ 9,605.00	\$9,605.00	\$ -	\$ 13,447.00	\$ 13,447.00	140%	\$ (3,842.00)	
3	Retaining Walls	1	LS	\$ 25,000.00	\$25,000.00	\$ -	\$ 25,000.00	\$ 25,000.00	100%	\$ -	
4	Guiderail	138	LF	\$ 35.00	\$4,830.00	\$ 4,830.00	\$ -	\$ 4,830.00	100%	\$ -	
5	Bench	1	EA	\$ 2,000.00	\$2,000.00	\$ 2,000.00	\$ -	\$ 2,000.00	100%	\$ -	
6	Trash Enclosure	2	EA	\$ 3,000.00	\$6,000.00	\$ 6,000.00	\$ -	\$ 6,000.00	100%	\$ -	
7	Concrete Monument	7	EA	\$ 200.00	\$1,400.00	\$ 1,400.00	\$ -	\$ 1,400.00	100%	\$ -	
8	Iron Pin	1	EA	\$ 100.00	\$100.00	\$ 100.00	\$ -	\$ 100.00	100%	\$ -	
9	As-Built Plans	1	LS	\$ 4,500.00	\$4,500.00	\$ 4,500.00	\$ -	\$ 4,500.00	100%	\$ -	

Summary								
A	EROSION & SEDIMENT CONTROL	\$41,019.13	\$ 5,750.50	\$ 35,268.63	\$ 41,019.13	100%	\$ -	
B	DEMOLITION AND CLEARING	\$74,383.62	\$ -	\$ 74,446.18	\$ 74,446.18	100%	\$ (62.56)	
C	EARTHWORK	\$30,534.40	\$ 1,780.68	\$ 28,993.66	\$ 30,774.34	101%	\$ (239.94)	
D	STORM SEWER	\$232,544.19	\$ 13,360.00	\$ 219,184.19	\$ 232,544.19	100%	\$ -	
E	WATER LINE	\$121,247.07	\$ 2,692.67	\$ 118,554.40	\$ 121,247.07	100%	\$ -	
F	CONCRETE	\$48,937.70	\$ 31,137.70	\$ 17,800.00	\$ 48,937.70	100%	\$ -	
G	PAVING	\$114,043.86	\$ 46,428.86	\$ 67,615.00	\$ 114,043.86	100%	\$ -	
H	LANDSCAPING & LIGHTING	\$45,375.00	\$ 45,375.00	\$ -	\$ 45,375.00	100%	\$ -	
I	MISCELLANEOUS	\$81,685.00	\$ 18,830.00	\$ 66,697.00	\$ 85,527.00	105%	\$ (3,842.00)	
SUBTOTAL		\$789,769.97	\$ 165,355.41	\$ 628,559.06	\$ 793,914.47	101%	\$ (4,144.50)	
CONTINGENCY		\$78,977.00	\$ 7,599.75	\$ 67,232.75	\$ 74,832.50	95%	\$ 4,144.50	
		\$868,746.97						
10% LEGAL & ENGINEERING		\$78,977.00	\$ 78,977.00		\$ 78,977.00			
TOTAL ESCROW		\$947,723.97	\$ 251,932.16	\$ 346,547.19	\$ 947,723.97	100%	\$ -	

Total Redustion Rerquest \$ 251,932.16

**WHITEMARSH TOWNSHIP**

**REPORT OF EXPENDITURES AND PAYROLL**

**MONTH OF JANUARY 2026**

IN ACCORDANCE WITH ARTICLE 605 OF THE HOME RULE CHARTER OF  
WHITEMARSH TOWNSHIP

**FROM TOWNSHIP CASH:**

TOTAL EXPENDITURES AS **CHECKS** PER ATTACHED REPORTS

\$1,097,848.24

TOTAL EXPENDITURES BY **P-CARD** PER ATTACHED REPORTS

\$217,011.88

**GRAND TOTAL EXPENDITURES \$1,314,860.12**

TOTAL PAYROLLS \$818,650.61

**FROM PENSION FUND:**

PFM ASSEST MANAGEMENT \$2,899.63

**MEETING DATE: FEBRUARY 12TH**

**APPROVED SUBJECT TO ANNUAL AUDIT:**

JACY TOLL, CHAIR

\_\_\_\_\_

ELIZABETH MOY, VICE CHAIR

\_\_\_\_\_

VINCENT MANUELE

\_\_\_\_\_

PATRICE TURENNE

\_\_\_\_\_

MEGAN GRIFFIN-SHELLEY

\_\_\_\_\_

Range of Checking Accts: First to Last      Range of Check Dates: 01/01/26 to 01/31/26  
Report Type: All Checks      Report Format: Super Condensed    Check Type: Computer: Y    Manual: Y    Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
CLEARING	TD BANK			
5373	01/09/26	APEXW005 APEX WATER & PROCESS, INC	1,505.50	157
5374	01/09/26	AQUAP010 AQUA PA	455.65	157
5375	01/09/26	ASHEN015 ASHENFELTER & SON	11,800.00	157
5376	01/09/26	AWHIS005 A WHISK WORTH TASTING LLC	1,216.00	157
5377	01/09/26	BARRE010 BARREN HILL FIRE COMPANY	7,000.00	157
5378	01/09/26	BERMA005 BERMAN TRUCK GROUP	358.34	157
5379	01/09/26	CARGI005 CARGILL INCORPORATED	1,831.80	157
5380	01/09/26	CBIZI005 CBIZ, INC.	250.00	157
5381	01/09/26	CCTEC005 C & C TECHNOLOGIES	15,840.00	157
5382	01/09/26	CIVIC010 CIVICPLUS LLC	8,384.47	157
5383	01/09/26	COLON005 COLONIAL ELECTRIC SUPPLY COMPA	173.28	157
5384	01/09/26	CROWN020 CROWN TROPHY/ SPRINGFIELD	54.18	157
5385	01/09/26	DEDUF010 D.E. DUFFEY & SONS, INC.	134.00	157
5386	01/09/26	DELAW005 DELAWARE VAL. WORKER`S COMP. T	67,353.50	157
5387	01/09/26	DELAW020 DELAWARE VALLEY HEALTH INSURAN	203,357.79	157
5388	01/09/26	DELAW055 DELAWARE VALLEY PROPERTY AND L	87,703.75	157
5389	01/09/26	DJBSP005 D.J.B. SPECIALTIES, INC	840.00	157
5390	01/09/26	FRASE005 FRASER ADVANCED INFO SYSTEMS	1,985.29	157
5391	01/09/26	FUREY005 FUREY & BALDASSARI, P.C.	9,937.50	157
5392	01/09/26	GAILE005 GAILEY MURRAY, LLP	3,500.00	157
5393	01/09/26	GLORI005 GLORIA JAVIE	555.00	157
5394	01/09/26	GREGO030 GREGORY NESTER	50.00	157
5395	01/09/26	HARTF005 HARTFORD - PRIORITY ACCOUNTS	4,558.67	157
5396	01/09/26	HOUGH005 HOUGH ASSOCIATES	11,760.00	157
5397	01/09/26	INFIN005 INFINSOURCE INC.	774.60	157
5398	01/09/26	JAMES090 JAMES F BEHR	50.00	157
5399	01/09/26	JAMES110 JAMES TONE	150.00	157
5400	01/09/26	JANET005 JANET APEL	555.00	157
5401	01/09/26	JEANT005 JEAN THOMPSON	555.00	157
5402	01/09/26	JENNI020 JENNIFER A. COLLINS RMR	374.15	157
5403	01/09/26	JOANN015 JOANNE GALIE	555.00	157
5404	01/09/26	JOHNS005 JOHN S POSEN, INC	658.93	157
5405	01/09/26	JPMAS005 J P MASCARO & SONS	307,303.50	157
5406	01/09/26	KIMBA005 KIMBALL MIDWEST	149.50	157
5407	01/09/26	LAFAY020 LAFAYETTE EYE ASSOCIATES	358.00	157
5408	01/09/26	MARCA005 MARC A WEINSTEIN	50.00	157
5409	01/09/26	MONTG095 MONTGOMERY CO COMMUNITY COLLEG	5,995.00	157
5410	01/09/26	MSCIN005 MSC INDUSTRIAL SUPPLY CO.	499.75	157
5411	01/09/26	NICKS005 NICKS LEATHER WORK LLC	450.00	157
5412	01/09/26	OBERM005 OBERMAYER REBMAN MAXWELL & HI	14,482.00	157
5413	01/09/26	OCCUP005 OCCUPATIONAL HEALTH CENTERS SO	670.00	157
5414	01/09/26	PATRI040 PATRICK DORAN	50.00	157
5415	01/09/26	PECOE005 PECO ENERGY COMPANY	2,997.76	157
5416	01/09/26	PENNA005 PENNA. CHIEFS OF POLICE ASSOCI	7,832.00	157
5417	01/09/26	PENNS040 PENNSYLVANIA AMERICAN WATER	19.95	157
5418	01/09/26	PERRO005 PERRONE ROOFING	250.00	157
5419	01/09/26	PETRO020 PETRO HOME SERVICES	1,599.80	157
5420	01/09/26	QUILL005 QUILL CORPORATION	322.84	157
5421	01/09/26	RHOAD010 RHOADS ENERGY	861.69	157

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
CLEARING		TD BANK			Continued
5422	01/09/26	RINOS005 RINO'S IP	1,407.39		157
5423	01/09/26	ROBER070 ROBERT E LITTLE, INC	100.14		157
5424	01/09/26	SCHAN005 SCHANK PRINTING INC.	75.00		157
5425	01/09/26	STRAT005 STRATEGIC INVESTIGATIVE RESOUR	2,400.00		157
5426	01/09/26	SYSTE005 SYSTEMSNET	4,489.89		157
5427	01/09/26	THELA005 THE LAW OFFICE SEAN KILKENNY	23,532.00		157
5428	01/09/26	THOMS015 THOMSON REUTERS	251.13		157
5429	01/09/26	TRAI005 TRAISR, LLC	2,160.00		157
5430	01/09/26	TREAS010 TREASURER, COUNTY OF MONTGOMER	7,776.00		157
5431	01/09/26	UPPER020 UPPER PROVIDENCE TOWNSHIP	150.00		157
5432	01/09/26	VAULT005 VAULT HEALTH	262.36		157
5433	01/09/26	VERIZ025 VERIZON	201.87		157
5434	01/20/26	AMICI005 AMICI VICINATO	630.00		158
5435	01/20/26	AUTO005 AUTO PROPERTIES FORT WASHINGTON	72.30		158
5436	01/20/26	CARGI005 CARGILL INCORPORATED	11,096.80		158
5437	01/20/26	DJBSP005 D.J.B. SPECIALTIES, INC	93.10		158
5438	01/20/26	KEYST005 KEYSTONE MUNICIPAL SERVICES, I	1,705.00		158
5439	01/20/26	MARKT005 MARK T WILLIAMS	2,000.00		158
5440	01/20/26	MITCH015 MITCHELL COURT HOA	781.75		158
5441	01/20/26	PECOE005 PECO ENERGY COMPANY	4,895.28		158
5442	01/20/26	SIGNA010 SIGNAL SERVICE, INC.	12,729.00		158
5443	01/20/26	SJFUE005 SJ FUEL SOUTH CO.,INC	12,437.12		158
5444	01/20/26	STEPH045 STEPHEN P DUNNING	1,026.00		158
5445	01/20/26	TRAI005 TRAISR, LLC	2,160.00		158
5446	01/20/26	TRIST005 TRI-STATE FINANCIAL GROUP, LLC	4,765.35		158
5447	01/20/26	LAWLI005 LAW LIBRARY OF MONTGOMERY COUN	25.00		159
5448	01/23/26	AARON005 AARON KOSTYK	50.00		160
5449	01/23/26	AMCSG005 AMCS GROUP INC	3,119.51		160
5450	01/23/26	AQUAP025 AQUA PA BRYN MAWR	114.34		160
5451	01/23/26	ASHLY005 ASHLYN LICWINKO	2,205.00		160
5452	01/23/26	BERMA005 BERMAN TRUCK GROUP	445.70		160
5453	01/23/26	CARGI005 CARGILL INCORPORATED	5,590.88		160
5454	01/23/26	CARME015 CARMEN BUSHONG	50.00		160
5455	01/23/26	DONAL030 DONALD NORBECK	50.00		160
5456	01/23/26	DRONE005 DRONE NERDS INC	16,957.88		160
5457	01/23/26	ELIZA030 ELIZABETH SHAW FINK	50.00		160
5458	01/23/26	GAILE005 GAILEY MURRAY, LLP	3,500.00		160
5459	01/23/26	HOLOD005 HOLOD`S GARDEN CENTER	87.90		160
5460	01/23/26	INFIN005 INFINSOURCE INC.	1,857.48		160
5461	01/23/26	JDAVI010 J DAVID SHULA	50.00		160
5462	01/23/26	JENNI020 JENNIFER A. COLLINS RMR	1,620.00		160
5463	01/23/26	JOHNS005 JOHN S POSEN, INC	830.01		160
5464	01/23/26	JOSEP080 JOSEPH DEL BUONO INC	585.00		160
5465	01/23/26	KEYST005 KEYSTONE MUNICIPAL SERVICES, I	225.00		160
5466	01/23/26	MARKB005 MARK B THOMPSON ASSOC,PC	4,750.00		160
5467	01/23/26	MASCI005 MASCIANTONIO PLUMBING	375.00		160
5468	01/23/26	PAULS005 PAUL`S AUTO REPAIR & DETAILING	70.00		160
5469	01/23/26	PECOE005 PECO ENERGY COMPANY	0.00	01/23/26 VOID	0
5470	01/23/26	PECOE005 PECO ENERGY COMPANY	5,901.59		160
5471	01/23/26	PECOE015 PECO ENERGY COMPANY REAL ESTAT	250.00		160
5472	01/23/26	PECOE020 PECO ENERGY	16,052.42		160
5473	01/23/26	PREST005 PRESTON HAMPTON	318.43		160

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
CLEARING	TD BANK	Continued			
5474	01/23/26	RHOAD010 RHOADS ENERGY	1,508.76		160
5475	01/23/26	ROBER145 ROBERT BROGNO	234.18		160
5476	01/23/26	ROCKW005 ROCKWELL ASSOCIATES	2,155.00		160
5477	01/23/26	SCOTT040 SCOTT QUITEL	50.00		160
5478	01/23/26	SHEAR005 SHEARON ENVIRONMENTAL DESIGN C	5,915.00		160
5479	01/23/26	SHERR005 SHERRI GLANTZ PATCHEN	50.00		160
5480	01/23/26	SIGNA010 SIGNAL SERVICE, INC.	3,268.50		160
5481	01/23/26	SJFUE005 SJ FUEL SOUTH CO.,INC	421.18		160
5482	01/23/26	SKYLA005 SKYLARK CIRCUS ARTS	575.00		160
5483	01/23/26	SYSTE005 SYSTEMSNET	1,571.30		160
5484	01/23/26	UNIFI010 UNIFIRST	181.63		160
5485	01/23/26	UNIVE005 UNIVEST INSURANCE, INC.	750.00		160
5486	01/29/26	SPRIN005 SPRING MILL FIRE CO.	17,205.00		161
5487	01/29/26	BARRE010 BARREN HILL FIRE COMPANY	50,000.00		162
5488	01/29/26	SPRIN005 SPRING MILL FIRE CO.	50,000.00		162
Checking Account Totals					
		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
	Checks:	115	1	1,084,383.36	0.00
	Direct Deposit:	0	0	0.00	0.00
	Total:	115	1	1,084,383.36	0.00
CLEARING MANUAL	CLEARING MANUAL				
2513	01/01/26	PLGIT005 PLGIT LOCKBOX	13,464.88		156
Checking Account Totals					
	Checks:	1	0	13,464.88	0.00
	Direct Deposit:	0	0	0.00	0.00
	Total:	1	0	13,464.88	0.00
Report Totals					
	Checks:	116	1	1,097,848.24	0.00
	Direct Deposit:	0	0	0.00	0.00
	Total:	116	1	1,097,848.24	0.00

Totals by Year-Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND	5-01	99,102.91	7,000.00	0.00	106,102.91
LIQUID FUELS FUND	5-02	29,129.64	0.00	0.00	29,129.64
LIGHT & HYDRANT FUND	5-03	4,915.23	0.00	0.00	4,915.23
FLEET MAINTENANCE FUND	5-04	1,496.81	0.00	0.00	1,496.81
PARKS & RECREATION FUND	5-09	<u>7,351.59</u>	<u>0.00</u>	<u>0.00</u>	<u>7,351.59</u>
Year Total:		141,996.18	7,000.00	0.00	148,996.18
GENERAL FUND	6-01	527,417.04	0.00	0.00	527,417.04
LIQUID FUELS FUND	6-02	10,691.18	0.00	0.00	10,691.18
FLEET MAINTENANCE FUND	6-04	4,636.43	0.00	0.00	4,636.43
REFUSE FUND	6-05	319,063.50	0.00	0.00	319,063.50
CAPITAL FUND	6-06	28,757.88	0.00	0.00	28,757.88
PARKS & RECREATION FUND	6-09	31,994.35	0.00	0.00	31,994.35
WM. JEANES LIBRARY FUND	6-15	6,630.40	0.00	0.00	6,630.40
OPEN SPACE PRESERVATION FUND	6-17	<u>950.00</u>	<u>0.00</u>	<u>0.00</u>	<u>950.00</u>
Year Total:		930,140.78	0.00	0.00	930,140.78
Total of All Funds:		<u>1,072,136.96</u>	<u>7,000.00</u>	<u>0.00</u>	<u>1,079,136.96</u>

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Totals by Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND	01	626,519.95	7,000.00	0.00	633,519.95
LIQUID FUELS FUND	02	39,820.82	0.00	0.00	39,820.82
LIGHT & HYDRANT FUND	03	4,915.23	0.00	0.00	4,915.23
FLEET MAINTENANCE FUND	04	6,133.24	0.00	0.00	6,133.24
REFUSE FUND	05	319,063.50	0.00	0.00	319,063.50
CAPITAL FUND	06	28,757.88	0.00	0.00	28,757.88
PARKS & RECREATION FUND	09	39,345.94	0.00	0.00	39,345.94
WM. JEANES LIBRARY FUND	15	6,630.40	0.00	0.00	6,630.40
OPEN SPACE PRESERVATION FUND	17	950.00	0.00	0.00	950.00
Total of All Funds:		<u>1,072,136.96</u>	<u>7,000.00</u>	<u>0.00</u>	<u>1,079,136.96</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND	5-01	99,102.91	0.00	0.00	0.00	99,102.91
LIQUID FUELS FUND	5-02	29,129.64	0.00	0.00	0.00	29,129.64
LIGHT & HYDRANT FUND	5-03	4,915.23	0.00	0.00	0.00	4,915.23
FLEET MAINTENANCE FUND	5-04	1,496.81	0.00	0.00	0.00	1,496.81
PARKS & RECREATION FUND	5-09	<u>7,351.59</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>7,351.59</u>
Year Total:		141,996.18	0.00	0.00	0.00	141,996.18
GENERAL FUND	6-01	527,417.04	0.00	0.00	0.00	527,417.04
LIQUID FUELS FUND	6-02	10,691.18	0.00	0.00	0.00	10,691.18
FLEET MAINTENANCE FUND	6-04	4,636.43	0.00	0.00	0.00	4,636.43
REFUSE FUND	6-05	319,063.50	0.00	0.00	0.00	319,063.50
CAPITAL FUND	6-06	28,757.88	0.00	0.00	0.00	28,757.88
PARKS & RECREATION FUND	6-09	31,994.35	0.00	0.00	0.00	31,994.35
WM. JEANES LIBRARY FUND	6-15	6,630.40	0.00	0.00	0.00	6,630.40
OPEN SPACE PRESERVATION FUND	6-17	<u>950.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>950.00</u>
Year Total:		930,140.78	0.00	0.00	0.00	930,140.78
Total of All Funds:		<u>1,072,136.96</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,072,136.96</u>

Project Description	Project No.	Project Total
4006 Butler Pike - rent	4007	3,339.65
SLD 03-13 THE HILL @ WHITEMARS	8519	854.61
SLD 02-19 LONGFIELD FARM	8586	2,585.29
SLD 02-21 561 SPRING MILL AVE	8601	151.63
SLD 14-21 401/433 WASHINGTON	8612	123.75
SLD 02-24 - 601 WASHINGTON ST	8630	945.00
SLD 04-24,7170 LAFAYETTE AVE	8631	206.25
SLD 01-25,201 201 RIDE GVCC	8638	247.50
SLD #04-25,800 STENTON AVE	8641	1,361.25
SLD 06-25, 303 GERMANTOWN BAT	8643	2,465.00
SLD# 07-25,1001 HECTOR QUAKER	8644	1,427.25
SLD #09-25,488 BETHLEHEM PIKE	8646	2,021.25
SLD#2 10-25,GERMANTOWN PIKE	8647	396.00
GP2024-18,MITCHELL COURT	9850	781.75
GP2024-27, 340 MORRIS RD	9859	838.10
GP#2025-05,608 HARTS RIDGE	9864	63.25
GP# 2025-20, 4134 JACKSON DR	9879	123.75
GP#2025-24,800 RIDGE/UNION LEA	9883	780.00
Total of All Projects:		<u>18,711.28</u>

Range of Checking Accts: CLEARING MANUAL to CLEARING MANUAL Range of Check Dates: 12/02/25 to 12/31/25  
Report Type: All Checks Report Format: Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
PO #	Description				Contract
CLEARING MANUAL	CLEARING MANUAL				
2511	12/02/25	PLGIT005 PLGIT LOCKBOX			151
25-02377	TD BANK 12/2/25		125.00		
25-02378	TD BANK 12/2/25		1,203.36		
25-02379	TD BANK 12/2/25		22.81		
25-02380	TD BANK 12/2/25		5,372.13		
25-02381	TD BANK 12/2/25		190.56		
25-02382	TD BANK 12/2/25		229.02		
25-02383	TD BANK 12/2/25		80.53		
25-02384	TD BANK 12/2/25		0.99		
25-02385	TD BANK 12/2/25		560.00		
25-02386	TD BANK 12/2/25		201.96		
25-02387	TD BANK 12/2/25		231.20		
25-02388	TD BANK 12/2/25		2,798.13		
25-02389	TD BANK 12/2/25		169.58		
25-02390	TD BANK 12/2/25		60.95		
25-02391	TD BANK 12/2/25		1,284.60		
25-02392	TD BANK 12/2/25		214.93		
25-02393	TD BANK 12/2/25		311.94		
25-02394	TD BANK 12/2/25		424.92		
25-02395	TD BANK 12/2/25		67.24		
25-02396	TD BANK 12/2/25		133.86		
25-02397	TD BANK 12/2/25		25.34		
25-02398	TD BANK 12/2/25		2,106.68		
25-02399	TD BANK 12/2/25		2,500.00		
25-02400	TD BANK 12/2/25		50.00		
25-02401	TD BANK 12/2/25		40.26		
25-02402	TD BANK 12/2/25		96.46		
25-02403	TD BANK 12/2/25		369.50		
25-02404	TD BANK 12/2/25		17.32		
25-02405	TD BANK 12/2/25		59.35		
25-02406	TD BANK 12/2/25		500.00		
25-02407	TD BANK 12/2/25		116.36-		
25-02408	TD BANK 12/2/25		25.00		
25-02409	TD BANK 12/2/25		97.85		
25-02410	TD BANK 12/2/25		60.16		
25-02411	TD BANK 12/2/25		2,535.00		
25-02412	TD BANK 12/2/25		150.00		
25-02413	TD BANK 12/2/25		150.00		
25-02414	TD BANK 12/2/25		125.00		
25-02415	TD BANK 12/2/25		25.00		
25-02416	TD BANK 12/2/25		135.36		
25-02417	TD BANK 12/2/25		41,598.09		
25-02418	TD BANK 12/2/25		321.90		
25-02419	TD BANK 12/2/25		199.54		
25-02420	TD BANK 12/2/25		515.35		
25-02421	TD BANK 12/2/25		1,266.00		
25-02422	TD BANK 12/2/25		500.00		
25-02423	TD BANK 12/2/25		170.00		
25-02424	TD BANK 12/2/25		91.75		

Check # PO #	Check Date	Vendor Description	Amount Paid	Reconciled/Void	Ref Num Contract
CLEARING MANUAL	CLEARING MANUAL		Continued		
2511	PLGIT LOCKBOX		Continued		
25-02425	TD BANK	12/2/25	29.88		
25-02426	TD BANK	12/2/25	50.21		
25-02427	TD BANK	12/2/25	150.00		
25-02428	TD BANK	12/2/25	340.77		
25-02429	TD BANK	12/2/25	4,185.00		
25-02430	TD BANK	12/2/25	193.90		
25-02431	TD BANK	12/2/25	36.02		
25-02432	TD BANK	12/2/25	400.00		
25-02433	TD BANK	12/2/25	20.00		
25-02434	TD BANK	12/2/25	19.91		
25-02435	TD BANK	12/2/25	350.00		
25-02436	TD BANK	12/2/25	25.00		
25-02437	TD BANK	12/2/25	33.67		
25-02438	TD BANK	12/2/25	25.00		
25-02439	TD BANK	12/2/25	2,674.69		
25-02440	TD BANK	12/2/25	700.00		
25-02441	TD BANK	12/2/25	154.18		
25-02442	TD BANK	12/2/25	245.00		
25-02443	TD BANK	12/2/25	63.25		
25-02444	TD BANK	12/2/25	600.00		
25-02445	TD BANK	12/2/25	9,852.69		
25-02446	TD BANK	12/2/25	391.50		
25-02447	TD BANK	12/2/25	264.42		
25-02448	TD BANK	12/2/25	115.44		
25-02449	TD BANK	12/2/25	18.01		
25-02450	TD BANK	12/2/25	718.24		
25-02451	TD BANK	12/2/25	550.00		
25-02452	TD BANK	12/2/25	61.78		
25-02453	TD BANK	12/2/25	84.20		
25-02454	TD BANK	12/2/25	35.96		
25-02455	TD BANK	12/2/25	68.97		
25-02456	TD BANK	12/2/25	87.19		
25-02457	TD BANK	12/2/25	161.90-		
25-02458	TD BANK	12/2/25	5,895.76		
25-02459	TD BANK	12/2/25	620.30		
25-02460	TD BANK	12/2/25	492.03		
25-02461	TD BANK	12/2/25	679.60		
25-02462	TD BANK	12/2/25	35.99		
25-02463	TD BANK	12/2/25	265.90		
			<u>97,670.82</u>		
2512	12/31/25	PLGIT005 PLGIT LOCKBOX			155
26-00023	TD BANK		950.89		
26-00024	TD BANK		134.70		
26-00025	TD BANK		68.59		
26-00026	TD BANK		2,070.42		
26-00027	TD BANK		909.95		
26-00028	TD BANK		139.50		
26-00029	TD BANK		2.97		
26-00030	TD BANK		3,278.48		
26-00031	TD BANK		1,083.81		

Check # PO #	Check Date Description	Vendor	Amount Paid	Reconciled/Void	Ref Num Contract
CLEARING MANUAL	CLEARING MANUAL		Continued		
2512	PLGIT LOCKBOX		Continued		
26-00032	TD BANK		4,269.37		
26-00033	TD BANK		466.93		
26-00034	TD BANK		264.99		
26-00035	TD BANK		680.66		
26-00036	TD BANK		424.92		
26-00037	TD BANK		67.24		
26-00038	TD BANK		1,076.88		
26-00039	TD BANK		25.34		
26-00040	TD BANK		2,114.34		
26-00041	TD BANK		20.13		
26-00042	TD BANK		96.46		
26-00043	TD BANK		214.67		
26-00044	TD BANK		1,946.21		
26-00045	TD BANK		43.19		
26-00046	TD BANK		25.00		
26-00047	TD BANK		59.36		
26-00048	TD BANK		3,025.12		
26-00049	TD BANK		97.85		
26-00050	TD BANK		56.10		
26-00051	TD BANK		52.07		
26-00052	TD BANK		125.00		
26-00053	TD BANK		75.00		
26-00054	TD BANK		2.49		
26-00055	TD BANK		98.85		
26-00056	TD BANK		42,521.10		
26-00057	TD BANK		1,867.71		
26-00058	TD BANK		169.00		
26-00059	TD BANK		2,792.54		
26-00060	TD BANK		108.00		
26-00061	TD BANK		571.20		
26-00062	TD BANK		1,424.25		
26-00063	TD BANK		220.00		
26-00064	TD BANK		94.51		
26-00065	TD BANK		104.70		
26-00066	TD BANK		388.96		
26-00067	TD BANK		3,488.62		
26-00068	TD BANK		150.00		
26-00069	TD BANK		292.02		
26-00070	TD BANK		682.13		
26-00071	TD BANK		36.02		
26-00072	TD BANK		250.00		
26-00073	TD BANK		335.58		
26-00074	TD BANK		155.25		
26-00075	TD BANK		153.82		
26-00076	TD BANK		25.00-		
26-00077	TD BANK		83.00		
26-00078	TD BANK		369.00		
26-00079	TD BANK		105.99		
26-00080	TD BANK		498.97		
26-00081	TD BANK		330.78		
26-00082	TD BANK		18.01		

Check # PO #	Check Date Description	Vendor	Amount Paid	Reconciled/Void	Ref Num Contract
CLEARING MANUAL	CLEARING MANUAL		Continued		
2512	PLGIT LOCKBOX		Continued		
26-00083	TD BANK		356.88		
26-00084	TD BANK		36.75		
26-00085	TD BANK		182.37		
26-00086	TD BANK		94.00		
26-00087	TD BANK		93.16		
26-00088	TD BANK		35.96		
26-00089	TD BANK		22.26-		
26-00090	TD BANK		458.95		
26-00091	TD BANK		227.00		
26-00092	TD BANK		140.97		
26-00093	TD BANK		2,078.00		
26-00094	TD BANK		301.85		
26-00095	TD BANK		26,093.00		
26-00096	TD BANK		5,116.84		
26-00097	TD BANK		620.30		
26-00098	TD BANK		208.89		
26-00099	TD BANK		200.00		
26-00100	TD BANK		525.76		
26-00101	TD BANK		91.57		
26-00102	TD BANK		1,081.53		
26-00103	TD BANK		265.90		
			<u>119,341.06</u>		

Checking Account Totals	Paid	Void	Amount Paid	Amount Void
Checks:	2	0	217,011.88	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>2</u>	<u>0</u>	<u>217,011.88</u>	<u>0.00</u>

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	2	0	217,011.88	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>2</u>	<u>0</u>	<u>217,011.88</u>	<u>0.00</u>

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Totals by Year-Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND	5-01	164,244.55	0.00	0.00	164,244.55
LIQUID FUELS FUND	5-02	1,733.25	0.00	0.00	1,733.25
FLEET MAINTENANCE FUND	5-04	19,487.37	0.00	0.00	19,487.37
CAPITAL FUND	5-06	1,265.00	0.00	0.00	1,265.00
PARKS & RECREATION FUND	5-09	14,303.53	0.00	0.00	14,303.53
OPEN SPACE PRESERVATION FUND	5-17	2,566.02	0.00	0.00	2,566.02
Total of All Funds:		<u>203,599.72</u>	<u>0.00</u>	<u>0.00</u>	<u>203,599.72</u>

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Totals by Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND	01	164,244.55	0.00	0.00	164,244.55
LIQUID FUELS FUND	02	1,733.25	0.00	0.00	1,733.25
FLEET MAINTENANCE FUND	04	19,487.37	0.00	0.00	19,487.37
CAPITAL FUND	06	1,265.00	0.00	0.00	1,265.00
PARKS & RECREATION FUND	09	14,303.53	0.00	0.00	14,303.53
OPEN SPACE PRESERVATION FUND	17	2,566.02	0.00	0.00	2,566.02
Total of All Funds:		<u>203,599.72</u>	<u>0.00</u>	<u>0.00</u>	<u>203,599.72</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND	5-01	164,244.55	0.00	0.00	0.00	164,244.55
LIQUID FUELS FUND	5-02	1,733.25	0.00	0.00	0.00	1,733.25
FLEET MAINTENANCE FUND	5-04	19,487.37	0.00	0.00	0.00	19,487.37
CAPITAL FUND	5-06	1,265.00	0.00	0.00	0.00	1,265.00
PARKS & RECREATION FUND	5-09	14,303.53	0.00	0.00	0.00	14,303.53
OPEN SPACE PRESERVATION FUND	5-17	2,566.02	0.00	0.00	0.00	2,566.02
Total of All Funds:		<u>203,599.72</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>203,599.72</u>

Project Description	Project No.	Project Total
SLD 03-13 THE HILL @ WHITEMARS	8519	314.05
SLD 05-14 901 WASHINGTON	8534	1,404.48
SLD 02-19 LONGFIELD FARM	8586	1,892.09
SLD 14-21 401/433 WASHINGTON	8612	994.29
SLD 01-22 931 SPRING MILL	8613	202.50
SLD 03-23 500 PENNSYLVANIA A	8623	412.50
SLD 02-24 - 601 WASHINGTON ST	8630	2,682.00
SLD 07-24-5200 BUTLER GEMMA SE	8634	1,843.25
SLD 05-25,800 RIDGE PIKE	8642	165.00
SLD 06-25, 303 GERMANTOWN BAT	8643	330.00
SLD #09-25,488 BETHLEHEM PIKE	8646	313.50
SLD#2 10-25,GERMANTOWN PIKE	8647	165.00
GP#2025-10,201 W RIDGE PIKE	9869	580.00
GP#2025-14,750 ANDORRA ROAD	9873	247.50
GP #2025-16,W.VALLEY GREEN RD	9875	1,450.00
GP#2025-21,ACCESS RD CREEK LN	9880	416.00
Total of All Projects:		<u>13,412.16</u>