

PLYMOUTH & WHITEMARSH TOWNSHIPS
HISTORICAL ARCHITECTURAL REVIEW BOARD AMENDED AGENDA
April 8, 2026
8:00 AM

___ Rowe ___ Coyne ___ Higgins ___ Parsons
___ Rafter ___ Sztubinski ___ Vacant ___ Vacant ___ Vacant
___ Turenne (WT BOS Liaison) ___ Nelson (PT Council Liaison) ___ Guttenplan (WT Staff Liaison)

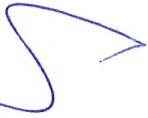
1. **CALL TO ORDER**
2. **ELECTION OF CHAIR**
3. **ELECTION OF VICE CHAIR**
4. **ANNOUNCEMENTS & CORRESPONDENCE**
 - Monthly Administrative Review Reports
 - National Alliance of Preservation Commissions Same Guidelines for Solar Systems in Historic Districts (included for reference)
5. **APPROVAL OF MINUTES**
 - May 14, 2025
 - October 8, 2025
6. **OLD BUSINESS**
7. **NEW BUSINESS**
 - 53 Germantown Pike (WT) – rooftop solar panels
 - 29 Germantown Pike (WT) — new sign, roof, and change in building color
8. **PUBLIC COMMENTS (NON-AGENDA ITEMS ONLY)**
9. **HARB MEMBER COMMENTS**
10. **ADJOURNMENT**

****Public comment will be accepted at the conclusion of each agenda item prior to taking action****

NEXT MEETING
May 13, 2026, 8:00 AM

WHITEMARSH TOWNSHIP

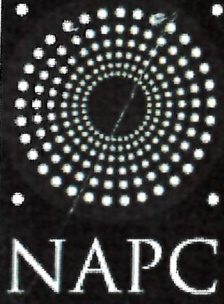
To: Historical Architectural Review Board Members
From: Charles L. Guttenplan, AICP, Director of Planning & Zoning
Subject: Monthly Administrative Approval Report
Date: April 3, 2026
cc: Patrice Turrene, Whitemarsh Township BOS Liaison
Aaron Nelson, Plymouth Township Council Liaison



Since HARB's last meeting on October 8, 2025, no applications have been reviewed and approved administratively by staff under delegated authority by Chapter 10, Historic District.

Thank you.

Charles L. Guttenplan, AICP
Director of Planning & Zoning/Zoning Officer
616 Germantown Pike
Lafayette Hill, PA 19444
Phone: 484-594-2625 Fax: 610-825-6252
Email: cguttenplan@whitemarshtwp.org



Sample Guidelines for Solar Systems in Historic Districts

education + advocacy + training

The rapidly growing trend toward retrofitting homes to be more energy efficient has brought an increase in the number of applications for installing solar energy systems on buildings within locally designated historic districts. The increase in solar systems applications in recent years has prompted numerous local preservation commissions to hastily develop guidelines for them with varying degrees of success.

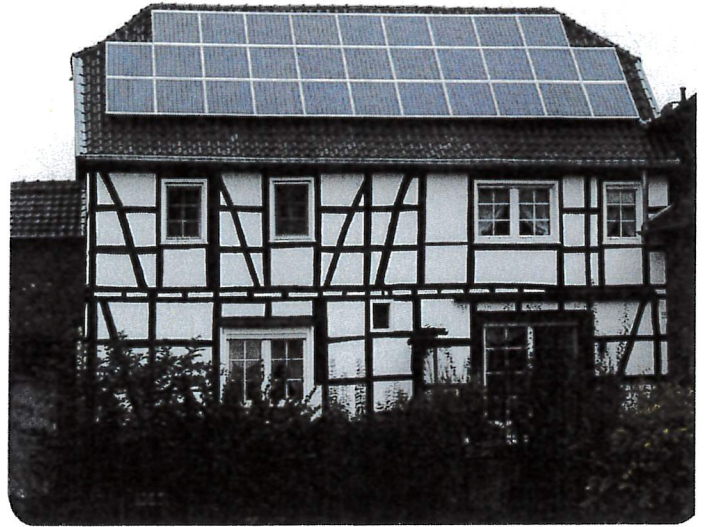
The following Sample Guidelines for Solar Systems for Locally Designated Historic Properties were developed in 2009 by Kimberly Kooles, NAPC support staff and revised by Caty Rushing in 2011. They are intended to serve as a starting point for local preservation commissions developing their own guidelines for solar systems.



Types of Systems:

- **Photovoltaic**

A photovoltaic system (or PV system) is a system which uses one or more solar panels to convert sunlight into electricity. It consists of multiple components, including the photovoltaic modules, mechanical and electrical connections and mountings and means of regulating and/or modifying the electrical output.



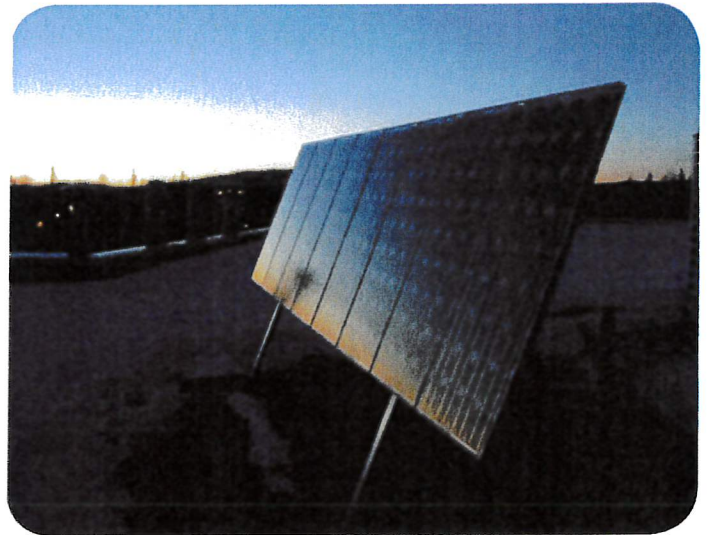
- **Solar Shingles**

Solar shingles, also called photovoltaic shingles, are solar cells designed to look like conventional asphalt shingles. There are several varieties of solar shingles, including shingle-sized solid panels that take the place of a number of conventional shingles in a strip, semi-rigid designs containing several silicon solar cells that are sized more like conventional shingles, and newer systems using various thin film solar cell technologies that match conventional shingles both in size and flexibility



- **Freestanding**

Freestanding PV panels or freestanding arrays allow the benefits of renewable solar power without disrupting the roofline or altering the house. They are placed away from the residence and connected through an underground wiring. When a roof may be blocked by trees or not receiving direct sunlight, the mobility of a freestanding panel allows the ability to move into optimal sunlight areas that may change seasonally.



Sample Guidelines for Solar Systems for Locally Designated Historic Projects

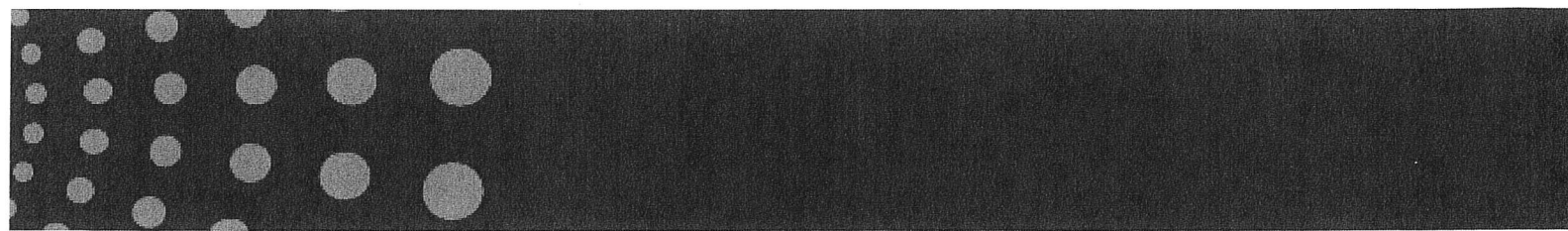
When planning the installation of solar panels the overall objective is to preserve character-defining features and historic fabric while accommodating the need for solar access to the greatest extent possible. All solar panel installations must be considered on a case by case basis recognizing that the best option will depend on the characteristics of the property under consideration. Some guidelines apply to virtually all installation options and are repeated in each section.

All solar panel installations should conform to the Secretary of the Interior's Standards for Rehabilitation.

Applicable Standards are:

Standard Two: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard Nine: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



1 Primary Elevations

For most properties, locating solar panels on the primary facade is the least desirable option because it will have the greatest adverse effect on the property's character defining features. All other options should be thoroughly explored.

- Utilization of low-profile solar panels is recommended. Solar shingles laminates, glazing, or similar materials should not replace original or historic materials. Use of solar systems in windows or on walls, siding, and shutters should be avoided.
- Panels should be installed flat and not alter the slope of the roof. Installation of panels must be reversible and not damage to the historic integrity of the resource and district.
- Solar panels should be positioned behind existing architectural features such as parapets, dormers, and chimneys to limit their visibility.
- Use solar panels and mounting systems that are compatible in color to established roof materials. Mechanical equipment associated with the photovoltaic system should be treated to be as unobtrusive as possible.



These solar panels low profile and location make them unobtrusive even though they are visible from the public right of way. Photo by Paul Trudeau

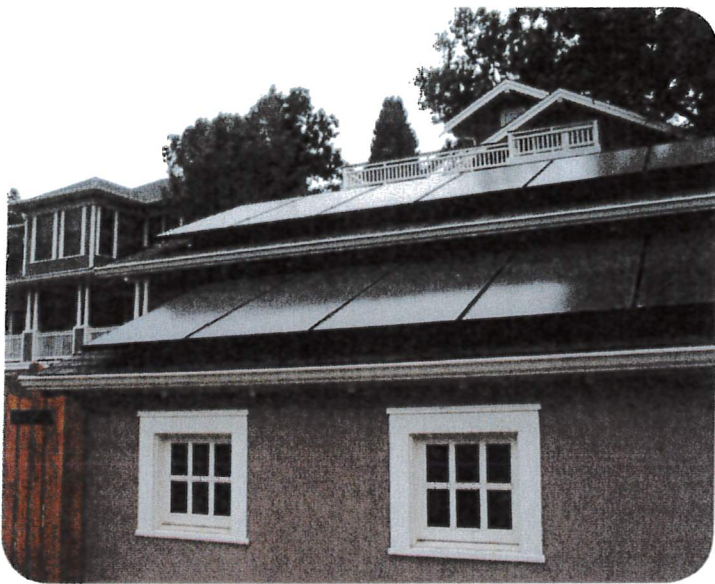
2 Secondary Elevations

- Solar panels should be installed on rear slopes or other locations not easily visible from the public right-of-way. Panels should be installed flat and not alter the slope of the roof. Installation of panels must be reversible and not damage the historic integrity of the resource and district.
- Flat roof structures should have solar panels set back from the roof edge to minimize visibility. Pitch and elevation should be adjusted to reduce visibility from public right-of-way.
- Solar panels should be positioned behind existing architectural features such as parapets, dormers, and chimneys to limit their visibility.

2 Secondary Elevations (Continued)

- Use solar panels and mounting systems that are compatible in color to established roof materials. Mechanical equipment associated with the solar panel system should be painted or treated to be as unobtrusive as possible
- Use of solar systems in non-historic windows or on walls, siding, or shutters should be installed as to limit visibility from the public right of way.

3 Historic Accessory Structures



Solar panels placed on an accessory structure not visible from the public right of way should still follow the slope of the roof and have a low profile. Photo courtesy of Dan Corson

- Solar panels should be installed on rear slopes or other locations not highly visible from the public right-of-way. Panels should be installed flat and not alter the slope of the roof. Installation of panels must be reversible and not damage the historic integrity of the resource and district.
 - Flat roof structures should have solar panel installations set back from the roof edge to minimize visibility. Pitch and elevation should be adjusted to reduce visibility from public right-of-way.
 - Solar panel installations should be positioned behind existing architectural features such as parapets, dormers, and chimneys to limit their visibility.
- Use solar panels and mounting systems that are compatible in color to the property's roof materials. Mechanical equipment associated with the photovoltaic system should be as unobtrusive as possible.
 - Use of solar systems in non-historic windows or on walls, siding and shutters should be installed as to limit visibility from the public right of way.

4 Freestanding or Detached

- Freestanding or detached on-site solar panels should be installed in locations that minimize visibility from the public right of way. These systems should be screened from the public right of way with materials elsewhere in the district such as fencing or vegetation of suitable scale for the district and setting.
- Placement and design should not detract from the historic character of the site or destroy historic landscape materials.



Freestanding solar panels should be installed in locations that minimize visibility from the public right of way.

Consideration to the visibility of solar panels from neighboring properties should be taken, without infringing upon the required solar access.

5 New Construction On-Site

- Solar panels should be integrated into the initial design of new construction or infill projects, when possible, to assure cohesion of design within a historic context.
- Solar panels should be installed on rear slopes or other locations not highly visible from the public right of way whenever possible. Panels should be installed flat and not alter the slope of the roof.
- Flat roof structures should have solar panels set back from the roof edge to minimize visibility. Pitch and elevation should be adjusted to reduce visibility from the public right-of-way.
- Use solar panels and mounting systems that are compatible in color to established roof materials. Mechanical equipment associated with the solar panel system should be treated to be as unobtrusive as possible.
- Use of solar systems in windows or on walls, siding, or shutters should be installed with limited visibility from the public right-of-way.

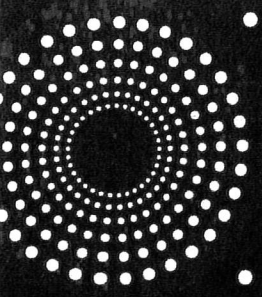
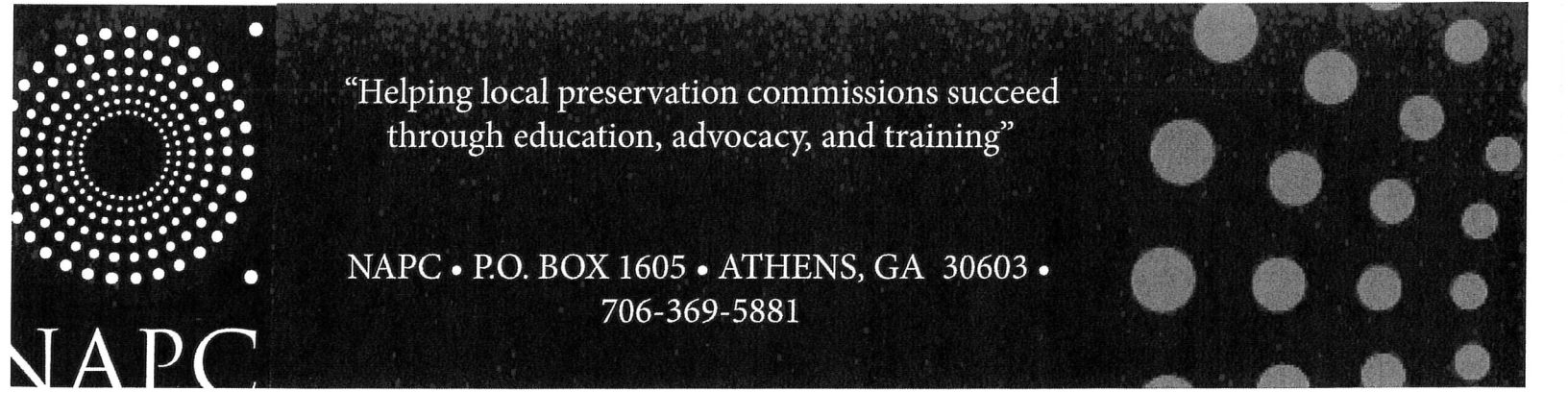


Not Recommended for Any Reason

- Removal of historic roofing materials during the installation of solar systems.
- Removing or otherwise altering historic roof configuration – dormers, chimneys, or other features – to add solar systems.
- Any other installation procedure that will cause irreversible changes to historic features or materials.

When considering retrofitting measures, historic building owners should keep in mind that there are no permanent solutions. One can only meet the standards being applied today with today's materials and techniques. In the future, it is likely that the standards and the technologies will change and a whole new retrofitting plan may be necessary. Thus, owners of historic buildings should limit retrofitting measures to those that achieve reasonable energy savings, at reasonable costs, with the least intrusion or impact on the character of the building.

(National Park Service. Preservation Brief 3: Conserving Energy in Historic Buildings. Available from <http://www.nps.gov/history/hps/TPS/briefs/brief03.htm#Preservation%20Retrofitting>. Accessed on August 10, 2009.)



“Helping local preservation commissions succeed
through education, advocacy, and training”

NAPC • P.O. BOX 1605 • ATHENS, GA 30603 •
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NAPC

PLYMOUTH & WHITEMARSH TOWNSHIPS
HISTORICAL ARCHITECTURAL REVIEW BOARD MEETING MINUTES
May 14, 2025
8:00 AM

The following HARB members were present: Joel Rowe, Plymouth Township Zoning Officer, Karen Coyne, Estelle Ronderos, Kenneth Parsons, Jerry Rafter, and Robert Sztubinski, Director of Building & Codes. Also in attendance was: Aaron Nelson, Plymouth Council Liaison, Charlie Guttenplan, Whitemarsh Township Director of Planning and Zoning and Samantha Zrillo, Planner for Whitemarsh Township.

1. CALL TO ORDER

Chair Rafter called the meeting to order at 8:01 AM. Mr. Rafter said the first item will be Megan McNish's presentation concerning the Certified Local Government (CLG) Program.

Mr. Guttenplan announced that there are several guests in the audience for Megan McNish's presentation, including Plymouth Township Manager Matt West, Whitemarsh Township Manager Craig McAnally, Board Chair Jacy Toll, as well as one resident of Whitemarsh Township. The Abolition Hall Steering Committee was also invited to attend the meeting. The presentation is revisiting the idea of applying for Certified Local Government (CLG) status, previously considered about six years ago. Whitemarsh may benefit from the CLG program due to its ownership of the Abolition Hall property, potentially qualifying for grants and other advantages.

[Note: Ms. McNish's presentation and CLG discussion reported under 'New Business'.]

2. ANNOUNCEMENTS & CORRESPONDENCE

- Monthly Administrative Review Report

Mr. Guttenplan announced that this is the first month that an administrative review was completed. The review was in the back of each Board member's packet on the table. There was one review in April that Mr. Sztubinski approved at 111 Black Walnut Lane. It was a shingle roof replacement of a non-contributing building. This type of memo will be provided every month, whether we have had any administrative reviews or not.

3. APPROVAL OF MINUTES

- April 9, 2025

Ms. Coyne made a recommendation to approve the April 9, 2025 meeting minutes. Ms. Ronderos seconded the motion. Motion carried unanimously.

4. OLD BUSINESS (none)

5. NEW BUSINESS

- 'Certified Local Government Program'; presentation by Megan McNish, Eastern Region Community Preservation Coordinator, PA Historical & Museum Commission

Using a PowerPoint presentation, Ms. McNish gave an overview of the Certified Local Government (CLG) program, a federal-state-local partnership administered by the National Park Service. The program supports municipalities that implement strong historic preservation policies and practices. To qualify, municipalities must meet certain certification standards. Benefits include access to federal CLG grant

funding (pending annual congressional appropriation), technical assistance, support for planning-related projects (e.g., surveys, ordinances, design guidelines), and participation in the National Register nomination process. The program also facilitates networking among preservation communities and offers training opportunities.

Ms. McNish noted that Whitemarsh Township already meets many requirements and would need only minor ordinance updates, specifically adding a process for future historic resource or district designations.

During the presentation, questions focused on how CLG grant funding is used, with clarification that it supports municipal planning projects rather than direct aid to property owners. Attendees asked about other grant programs, economic hardship considerations, and the extent of HARB's authority, which is advisory with final decisions made by the governing body. Concerns were raised about the potential impact of expanding historic designations, though it was noted this is optional.

Ms. McNish went on to explain that Certified Local Governments (CLGs) must submit an annual report, typically taking less than an hour, to update the state on preservation activities such as designations, guidelines, and case reviews. CLG boards and support staff are also required to complete four hours of training annually, which can be met through various formats including webinars, conferences, and programs like the National Alliance of Preservation Commissions' CAMP. The state encourages regional collaboration for training and offers funding support. CLGs must also comment on at least 75% of National Register nominations within their municipality, though most towns rarely receive any in a given year. Lastly, municipalities in joint HARB arrangements, like Plymouth and Whitemarsh, may participate in the program independently.

There was a question from the public about funding. Ms. McNish responded that Federal funding for the preservation office is uncertain, but leadership plans to maintain support. CLG status still offers benefits like better access to grants.

The Certified Local Government (CLG) application involves submitting a packet that includes a community resolution with the chief elected official's signature, plus a review of your plans and ordinances. The process to become a CLG typically takes 3–4 months. After all paperwork, etc. is in order and it is submitted to the National Park Service, they have 45 days to approve, or you're automatically certified. There's no direct cost, and annual reporting requirements are manageable. Your current ordinance limits HARB jurisdiction to one district, so amending the code (Chapter 10) would be needed to allow designation of additional districts or individual properties. This amendment doesn't mandate creating new districts, just enables the option. Regarding historic property documentation, existing inventories from the 1970s may be incomplete or outdated. It's common for towns to apply for grants after CLG designation to update surveys and documentation without necessarily changing district boundaries. Finally, the Keystone grant application deadlines are usually around March 1 each year for both planning and capital projects, with one application per organization allowed.

There was one member of the public, Sydelle Zove, in attendance. Ms. Zove's questions were part of the discussion and there was no formal 'Public Comment'.

6. PUBLIC COMMENTS (NON-AGENDA ITEMS ONLY)

Public in attendance: Sydelle Zove

Ms. Zove thanked Ms. McNish for her presentation and reiterated long-standing support for pursuing Certified Local Government (CLG) status. Ms. Zove then shared concerns about the state of the archives belonging to the Plymouth Meeting Historical Society. Although the Society no longer owns the historic property on Sierra Road—now privately owned and under restoration—its archives remain in the building, currently disorganized and largely inaccessible. The Society has approximately \$240,000 in funds from the property sale, yet there is not a plan to safeguard or catalog the collection. There is not a formal Board any longer but Ms. Zove said she encouraged a meeting of the last known board to consider using those funds for archival preservation and public access. Ms. Zove suggested that the archives might eventually be housed at the township or a local library, pending funding and space.

7. HARB MEMBER COMMENTS (none)

8. ADJOURNMENT

Mr. Sztubinski made a motion to adjourn the meeting. Ms. Ronderos seconded the motion. Motion carried unanimously. Meeting adjourned at 9:25 AM.

**PLYMOUTH & WHITEMARSH TOWNSHIPS
HISTORICAL ARCHITECTURAL REVIEW BOARD
MEETING MINUTES
October 8, 2025
8:00 AM**

The following HARB members were present: Karen Coyne, Tom Higgins, Kenneth Parsons, Jerry Rafter, and Robert Sztubinski, Director of Building & Codes. Also in attendance was: Aaron Nelson, Plymouth Council Liaison, Charlie Guttenplan, Whitemarsh Township Director of Planning, Craig McAnally, Whitemarsh Township Manager, and Zoning and Samantha Zrillo, Planner for Whitemarsh Township.

1. CALL TO ORDER Chair Rafter called the meeting to order at 8:03 AM.

2. ANNOUNCEMENTS & CORRESPONDENCE

- Monthly Administrative Review Report
Mr. Guttenplan told the Board that there were no administrative reviews/approvals since the last meeting.
- Mr. Guttenplan announced that two members from Plymouth have resigned from the Board due to personal conflicts so there are now two vacancies for Plymouth.

3. APPROVAL OF MINUTES

- May 14, 2025
These minutes were tabled due to a lack of a quorum.
- June 11, 2025
Mr. Guttenplan said that there will never be a quorum for these minutes because of the two resignations.

Mr. Parsons made a motion to unofficially accept the June 11, 2025 meeting minutes. Mr. Sztubinski seconded the motion. Motion carried 3-0-2.

4. OLD BUSINESS (none)

5. NEW BUSINESS

- 4006 Butler Pike (Abolition Hall) (WT)—demolish & replace existing deck

Craig McAnally, Township Manager of Whitemarsh Township, presented the proposal to replace the deteriorated rear deck at 4006 Butler Pike (Abolition Hall). Mr. McAnally noted that the existing deck, which connects to the main building and serves as the primary access point for township maintenance staff and contractors, is in very poor condition. While it is currently used by staff several times per week, it poses serious safety concerns. Upon inspection, significant structural issues were identified, including widespread wood rot, loose connections to the building, and an overall lack of stability.

Mr. Sztubinski echoed these concerns, describing it as extremely unsafe. The proposed plan involves removing and replacing the deck "in kind," meaning the new deck will match the existing one in appearance and layout, with a few modifications to meet current building codes. These include the addition of one footer for improved support and raising the guardrail from 36 inches to 42 inches to comply with commercial standards, in anticipation of future public access. The railing will feature a standard spindle design, and a handrail will be integrated in accordance with code requirements. It was confirmed that the deck is not historic, is likely no more than 20–25 years old, and was built with untreated or poorly maintained materials.

Public in attendance: *Sydelle Zove*

Ms. Zove raised concerns about historic artifacts near or beneath the deck at Abolition Hall, including two date stones, a small sculpture, remnants of a handmade tile patio, and historic hardware attached to the building. Ms. Zove requested that care be taken during demolition to avoid damage. Mr. McAnally confirmed that Whitemarsh Township's Public Works department will handle the deck removal, allowing better control and cost savings. The date stones will be moved inside for protection, cones will be placed around the statue, and no dumpster will be used—only dump trucks. Contractors have visited the site and are aware of the artifacts. Township staff will oversee the work to ensure preservation efforts are followed.

A member of the Board inquired the timeline for the project. Mr. McAnally stated that if this Board decides to recommend approval, it will go to the Board of Supervisors the next day, October 9th, with expected approval. Public Works could then begin demolition as early as next week, pending coordination with the contractor to avoid delays in access. Alternate entry points exist but currently lack exterior locks, making them less practical.

After discussion, Mr. Higgins made a motion to recommend approval to the Board of Supervisors for the removal and replacement of the deck at 4006 Butler Pike (Abolition Hall). Mr. Sztubinski seconded the motion. Motion carried unanimously.

After the motions, Ms. Zove asked about the status of the sale of the Marple Lane house, which the committee has discussed previously. Mr. McAnally stated that the property has not yet been recorded, and that staff recently walked the property. Once recorded, the property will be marketed through a public bidding process and will be advertised in several areas, including on the Township's homepage. A pre-bid meeting and walkthrough at the property is expected, though no dates have been set. It was confirmed that the bid documents will clearly reflect the protected area.

6. PUBLIC COMMENTS (NON-AGENDA ITEMS ONLY)

7. HARB MEMBER COMMENTS

Mr. Rafter revisited the historic schoolhouse on Spring Mill Road, previously considered for relocation to Germantown Friends Meeting for educational use. Although there was initial interest and volunteer support, the project stalled during the COVID-19 pandemic. The current owners now cite safety concerns and wish to have the structure removed. Due to its compromised condition, relocation would be challenging. The Board acknowledged the past efforts and agreed it may be worth revisiting the idea in the future

A question was raised about the spring and spring house located near the parking lot across from Abolition Hall, at the corner of Germantown Pike and Whitemarsh Business Center. It was noted that this area was originally part of the broader campus plan tied to the development project. The spring house's relevance to the site may be reassessed as development progresses. No further HARB comments were made.

At 15 Germantown Pike, a roof leak was reported caused by a cracked double clay chimney. The contractor proposes removing one chimney stack and repairing the remaining single stack to match others on the block. While the building is contributing and typically requires full HARB approval, emergency repairs like this can be done administratively but must be reviewed retroactively. The Board emphasized the importance of using terracotta chimney pots consistent with the historic design. The contractor plans to reuse the intact chimney pot, but if it's damaged during removal, a matching replacement must be sourced. The Board agreed to proceed with repairs, pending submission of detailed plans and materials for review.

8. **ADJOURNMENT** Ms. Coyne made a motion to adjourn the meeting. Mr. Higgins seconded the motion. Motion carried unanimously. Meeting adjourned at 8:45 AM.

HARB

Roof-top Solar

BZ- B-
E- 2626 225 M-
P- FM-



**WHITEMARSH TOWNSHIP
APPLICATION FOR PLAN EXAMINATION
FOR BUILDING AND ZONING PERMITS**

APPLICANT INSTRUCTIONS: For all applications, complete Parts 1, 2, 3, 4, 5 and 10 of this form. Also complete Part 6 if there is electrical work, Part 7 if there is plumbing work, Part 8 if there is mechanical work, and/or Part 9 if there is work that requires inspections by the Fire Marshal. Site plans (if applicable) is to be shown in Part 11 or attached hereto. Parts 12-19 (Pages 7-8) are for Township use only.

Application Date: 3/16/2026 Permit Type: Building (B) Electrical (E) Mechanical (M)
Is Owner Applicant? Yes No Zoning (Z) Plumbing (P) Other (see Part 10 - inc. wireless facilities)

PART 1. PROPERTY INFORMATION

Address: 53 East Germantown Pike, Plymouth Meeting, PA Apt.: _____ Zip: 19462 Zoning District: _____
Subdivision: _____ Lot Number: _____ Parcel Number: 650004450003 Year Built: _____
Parcel Type: Residential (R) Commercial (C) Industrial (I) Other (O)

PART 2. OWNER INFORMATION

First Name: Stephanie Last Name: Valentine Phone: _____
Address: 53 East Germantown Pike City: Plymouth Meeting
State: Pennsylvania Zip: 19462 Email Address: _____

PART 3. CONTRACTOR(S) INFORMATION

	NAME OF CONTRACTOR (LAST, FIRST)	ADDRESS	CITY, STATE	LICENSE NO.
Applicant (not owner)	Piompino, Michael	1433 Hooper Ave Suite 330	Toms River, NJ 08753	183504
Architect / Engineer				
General Contractor	Brilliant Installations Inc	1433 Hooper Ave Suite 330	Toms River, NJ	183504
Excavation				
Concrete				
Carpentry				
Electrical	Brilliant Installations Inc	1433 Hooper Ave Suite 330	Toms River NJ	183504
Plumbing				
Sewer				
Mechanical				
Roofing				
Masonry				
Drywall or Lathing				
Sprinkler				
Paving				
Fire Alarm				

APPROVED
D76

RECEIVED
MAR 18 2026
WHITEMARSH TOWNSHIP

PART 4. CERTIFICATION

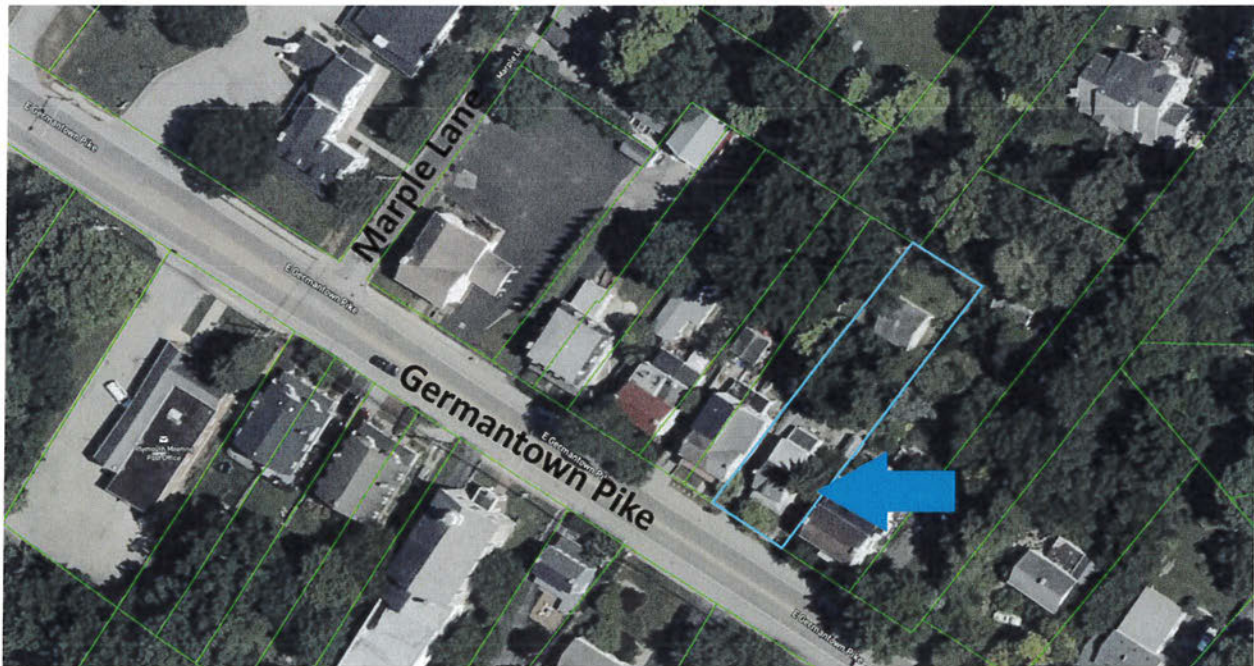
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such a permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

[Signature] 1433 Hooper Ave Suite 330 Toms River NJ 08753
SIGNATURE OF APPLICANT ADDRESS

EMAIL AND PHONE NUMBER
REQUIRED

Michael Piompino permitting@mybrilliant solar.com 732-608-6460 x 140
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

53 Germantown Pike





GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 Plymouth Road, Suite 150,
Plymouth Meeting, PA 19462
(267) 489-4949
Fax (267) 489-8447
www.gilmore-assoc.com

MEMORANDUM

Date: March 20, 2026
To: Charles L. Guttenplan, AICP - Director of Planning and Zoning
From: Krista Heinrich, P.E., Township Engineer
Reference: 53 East Germantown Pike
Roof Mounted Solar Panel Installation
G&A Project No. 2022-01088

As requested, the application for installation of roof mounted solar panels submitted by Brilliant Installations, Inc. consisting of Eleven (11) modules has been reviewed for compliance with Section 116-33.4(B)(2) which provides for regulation of solar energy systems. Please be advised that the applicant has demonstrated to the satisfaction of the Township Engineer that the proposed system, as designed, is an effective means for utilizing solar energy on the property.

Should you have any questions or need further information regarding this matter, please do not hesitate to contact me at this office

PHOTOVOLTAIC ROOF MOUNT SYSTEM

11 MODULES-ROOF MOUNTED - 4.510 KW DC, 3.800 KW AC
 53 E GERMANTOWN PIKE, PLYMOUTH MEETING, PA 19462

SCANNED



BRILLIANT SOLAR
 1433 HOOPER AVE, STE 330
 TOMS RIVER, NJ 08753

PROJECT DATA

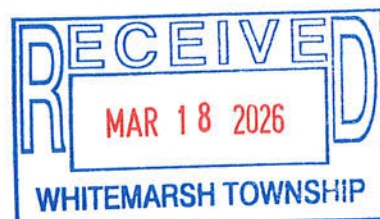
PROJECT ADDRESS: 53 E GERMANTOWN PIKE, PLYMOUTH MEETING, PA 19462
 OWNER: STEPHANIE VALENTINE
 DESIGNER: ESR
 SCOPE: 4.510 KW DC ROOF MOUNT SOLAR PV SYSTEM WITH 11 QCELL: Q.PEAK DUO BLK ML-G10.C+ 410W PV MODULES WITH 11 SOLAREEDGE: U650-1GM4MRMU-DOMESTIC POWER OPTIMIZERS 01 SOLAREEDGE: USE11400H-USSKBEZ8 [SE3.8KW] [DOMESTIC] INVERTER

AUTHORITIES HAVING JURISDICTION:
 BUILDING: WHITEMARSH TOWNSHIP
 ZONING: WHITEMARSH TOWNSHIP
 UTILITY: PECO

SHEET INDEX

G001	COVER SHEET
E001	SITE PLAN
S001	ROOF PLAN AND MODULES
E002	ELECTRICAL PLAN
S002	STRUCTURAL DETAIL
S002.1	STRUCTURAL DETAIL
E003	ELECTRICAL LINE DIAGRAM
E004	WIRING CALCULATIONS
E005	LABELS
E006	PLACARD
PD001+	EQUIPMENT SPECIFICATIONS

SIGNATURE



GENERAL NOTES

- ALL COMPONENTS ARE UL LISTED AND NEC CERTIFIED, WHERE WARRANTED.
- THE SOLAR PV SYSTEM WILL BE INSTALLED IN ACCORDANCE WITH ARTICLE 690 OF THE NEC 2020.
- THE UTILITY INTERCONNECTION APPLICATION MUST BE APPROVED AND PV SYSTEM INSPECTED PRIOR TO PARALLEL OPERATION.
- ALL CONDUCTORS OF A CIRCUIT, INCLUDING THE EGC, MUST BE INSTALLED IN THE SAME RACEWAY, OR CABLE, OR OTHERWISE RUN WITH THE PV ARRAY CIRCUIT CONDUCTORS WHEN THEY LEAVE THE VICINITY OF THE PV ARRAY.
- WHERE METALLIC CONDUIT CONTAINING DC CONDUCTORS IS USED INSIDE THE BUILDING, IT SHALL BE IDENTIFIED AS "CAUTION: SOLAR CIRCUIT" EVERY 10FT.
- HEIGHT OF THE AC DISCONNECT SHALL NOT EXCEED 6'-7" PER NEC CODE 240.24.
- A GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC 2020 690.47 AND 250.50 THROUGH 60 AND 250-166 SHALL BE PROVIDED. PER NEC GROUNDING ELECTRODE SYSTEM OF EXISTING BUILDING MAY BE USED AND BONDED TO THE SERVICE ENTRANCE. IF EXISTING SYSTEM IS INACCESSIBLE OR INADEQUATE A SUPPLEMENTAL GROUNDING ELECTRODE WILL BE USED AT THE INVERTER LOCATION CONSISTING OF A UL LISTED 8 FT. GROUND ROD WITH ACORN CLAMP. GROUNDING ELECTRODE CONDUCTORS SHALL BE NO LESS THAN #8 AWG AND NO LARGER THAN #6 AWG COPPER AND BONDED TO THE EXISTING GROUNDING ELECTRODE TO PROVIDE FOR A COMPLETE SYSTEM.
- PHOTOVOLTAIC MODULES ARE TO BE CONSIDERED NON-COMBUSTIBLE.
- PHOTOVOLTAIC INSTALLATION WILL NOT OBSTRUCT ANY PLUMBING, MECHANICAL, OR BUILDING ROOF VENTS.
- ALL WIRING MUST BE PROPERLY SUPPORTED BY DEVICES OR MECHANICAL MEANS DESIGNED AND LISTED FOR SUCH USE. WIRING MUST BE PERMANENTLY AND COMPLETELY HELD OFF THE ROOF SURFACE.
- ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH THE LOCAL BUILDING CODE. IF EXPOSED TO SUNLIGHT, IT SHALL BE UV RESISTANT. ALL PLAQUES AND SIGNAGE WILL BE INSTALLED AS REQUIRED BY THE NEC AND AHJ.
- INVERTER(S) USED IN UNGROUNDED SYSTEM SHALL BE UL 1741 LISTED.
- THE INSTALLATION OF EQUIPMENT AND ALL ASSOCIATED WIRING AND INTERCONNECTION SHALL BE PERFORMED ONLY BY QUALIFIED PERSONS [NEC 690.4(C)]
- ALL OUTDOOR EQUIPMENT SHALL BE NEMA 3R RATED (OR BETTER), INCLUDING ALL ROOF MOUNTED TRANSITION BOXES AND SWITCHES.
- ALL EQUIPMENT SHALL BE PROPERLY GROUNDED AND BONDED IN ACCORDANCE WITH NEC ARTICLE 250.
- SYSTEM GROUNDING SHALL BE IN ACCORDANCE WITH NEC 690.41.
- PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION IN ACCORDANCE WITH NEC 690.12
- DISCONNECTING MEANS SHALL BE LOCATED IN A VISIBLE, READILY ACCESSIBLE LOCATION WITHIN THE PV SYSTEM EQUIPMENT OR A MAXIMUM OF 10 FEET AWAY FROM THE SYSTEM [NEC 690.13(A)]
- ALL WIRING METHODS SHALL BE IN ACCORDANCE WITH NEC 690.31
- WORK CLEARANCES AROUND ELECTRICAL EQUIPMENT WILL BE MAINTAINED PER NEC 110.26(A)(1), 110.26(A)(2) AND 110.26(A)(3).
- ROOFTOP MOUNTED PHOTOVOLTAIC PANELS AND MODULES SHALL BE TESTED, LISTED & IDENTIFIED IN ACCORDANCE WITH UL1703
- ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT EXPANSION JOINTS AND ANCHOR CONDUIT RUNS AS REQUIRED PER NEC.
- PANEL LAYOUT ORIENTATION IS SUBJECT TO CHANGE ON DESIGNED MOUNTING PLANES.

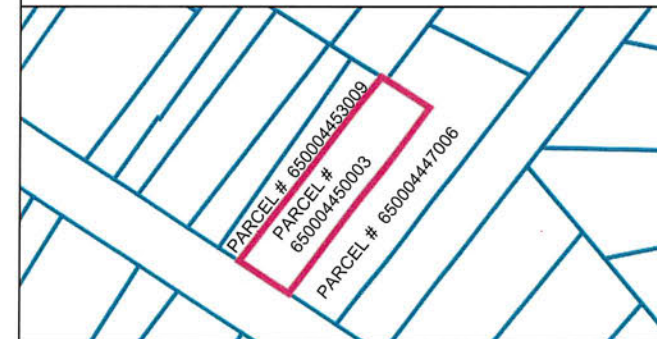
VICINITY MAP



HOUSE PHOTO



PLAT MAP



CODE REFERENCES

PROJECT TO COMPLY WITH THE FOLLOWING:
 2020 NATIONAL ELECTRICAL CODE (NEC)
 2021 INTERNATIONAL BUILDING CODE (IBC)
 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2021 INTERNATIONAL FIRE CODE (IFC)

REVISIONS

DESCRIPTION	DATE	REV
INITIAL DESIGN	03/10/2026	

Mohamed S Mahmoud
 Digitally signed by Mohamed S Mahmoud
 Date: 2026.03.10 20:12:40 -07'00'



PROJECT NAME & ADDRESS

DEED NAME: STEPHANIE VALENTINE
 UTILITY BILL NAME: STEPHANIE J VALENTINE
 53 E GERMANTOWN PIKE, PLYMOUTH MEETING, PA 19462

DRAWN BY
 ESR

SHEET NAME
 COVER SHEET

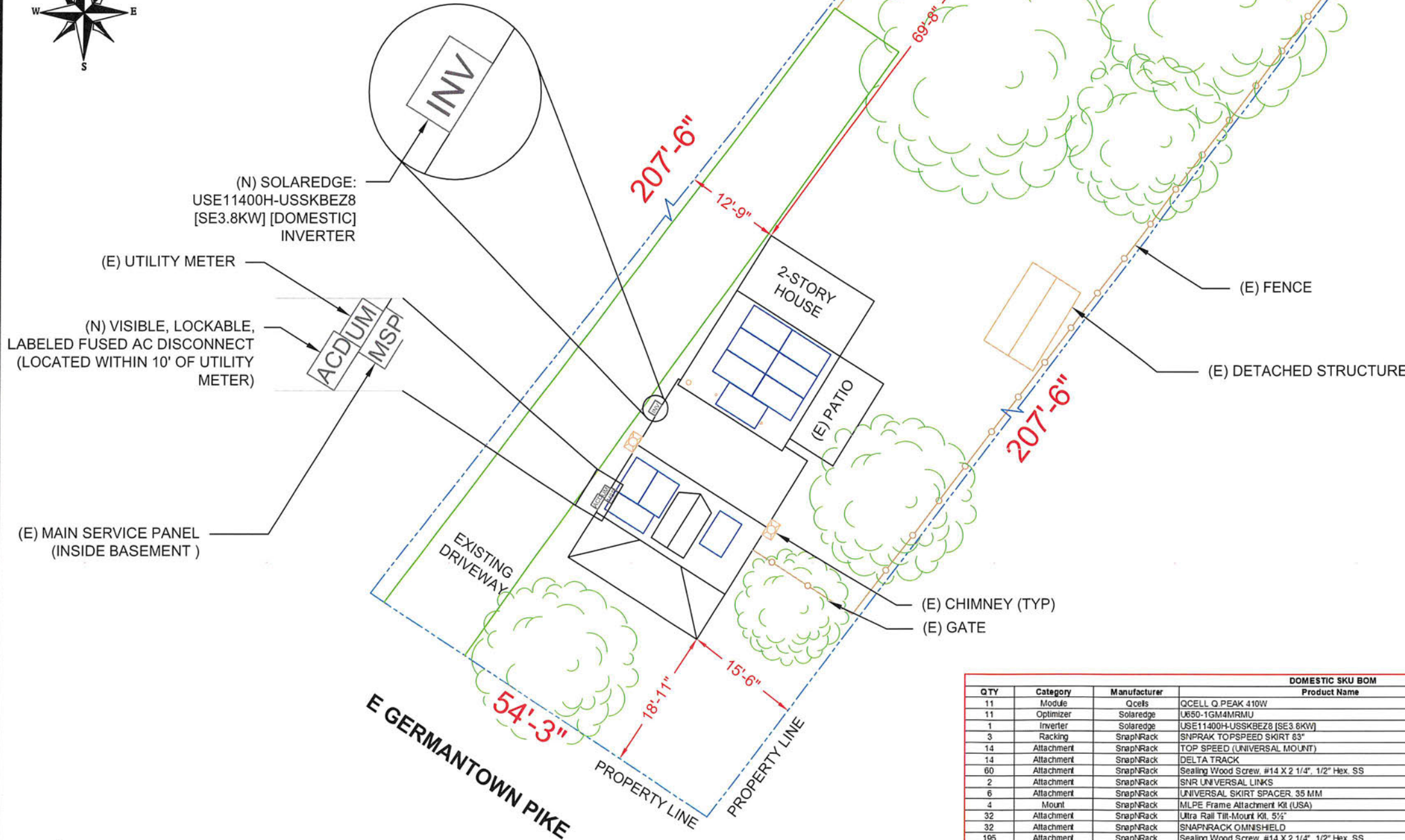
SHEET SIZE
 ANSI B
 11" X 17"

SHEET NUMBER
 G001

PROJECT DESCRIPTION:

11 X QCELL: Q.PEAK DUO BLK ML-G10.C+ 410W MONO MODULES
 ROOF MOUNTED SOLAR PHOTOVOLTAIC MODULES
 DC SYSTEM SIZE: 11 x 410 = 4.510KW DC
 AC SYSTEM SIZE: 01 x 3800 = 3.800KW AC
 EQUIPMENT SUMMARY
 11 QCELL: Q.PEAK DUO BLK ML-G10.C+ 410W MONO MODULES
 11 SOLAREEDGE: U650-1GM4MRMU-DOMESTIC POWER OPTIMIZERS
 01 SOLAREEDGE: USE11400H-USSKBZ8 [SE3.8KW] [DOMESTIC] INVERTER
 ROOF ARRAY AREA #1:- 70.84 SQ FT.
 ROOF ARRAY AREA #2:- 147.84 SQ FT.

NOTE: VISIBLE, LOCKABLE, LABELED AC DISCONNECT LOCATED WITHIN 10' OF UTILITY METER



BRILLIANT SOLAR
 1433 HOOPER AVE, STE 330
 TOMS RIVER, NJ 08753

REVISIONS

DESCRIPTION	DATE	REV
INITIAL DESIGN	03/10/2026	



PROJECT NAME & ADDRESS

DEED NAME
STEPHANIE VALENTINE

UTILITY BILL NAME
STEPHANIE J VALENTINE

53 E GERMANTOWN PIKE,
 PLYMOUTH MEETING,
 PA 19462

DRAWN BY
ESR

SHEET NAME
SITE PLAN

SHEET SIZE
**ANSI B
 11" X 17"**

SHEET NUMBER
E001

QTY	Category	Manufacturer	Product Name	SKU
11	Module	Qcells	QCELL Q PEAK 410W	Q PEAK DUO BLK ML-G10 C+410
11	Optimizer	Solareedge	U650-1GM4MRMU	U650-1GM4MRMU
1	Inverter	Solareedge	USE11400H-USSKBZ8 [SE3.8KW]	USE11400H-USSKBZ8
3	Racking	SnapNRack	SNPRACK TOPSPEED SKIRT 83"	232-02493-USA
14	Attachment	SnapNRack	TOP SPEED (UNIVERSAL MOUNT)	242-02155-USA
14	Attachment	SnapNRack	DELTA TRACK	242-10064
60	Attachment	SnapNRack	Sealing Wood Screw, #14 X 2 1/4", 1/2" Hex. SS	242-10010
2	Attachment	SnapNRack	SNR UNIVERSAL LINKS	242-02156-USA
6	Attachment	SnapNRack	UNIVERSAL SKIRT SPACER 35 MM	232-02495-USA
4	Mount	SnapNRack	MLPE Frame Attachment Kit (USA)	242-02151-USA
32	Attachment	SnapNRack	Ultra Rail Tilt-Mount Kit, 5/2"	242-10019
32	Attachment	SnapNRack	SNAPNRACK OMINSHIELD	232-10042
195	Attachment	SnapNRack	Sealing Wood Screw, #14 X 2 1/4", 1/2" Hex. SS	242-10010
7	Racking	SnapNRack	SNPRACK 232-10095-USA 172" UR-45 MILL	232-10095-USA
20	Racking	SnapNRack	SNAPNRACK ULTRA RAIL END CLAMP, BLACK	242-02073-USA
10	Racking	SnapNRack	SNAPNRACK ULTRA RAIL MID CLAMP, BLACK	242-02071-USA
0	Racking	SnapNRack	SNAPNRACK UR-45 SPLICE, SILVER	242-01213-USA
15	Racking	SnapNRack	SNAPNRACK OMINLUG	242-10034-USA

MODULE TYPE, DIMENSIONS & WEIGHT

NUMBER OF MODULES = 11 MODULES
 MODULE TYPE = QCELL: Q.PEAK DUO BLK ML-G10.C+ 410W MONO MODULES
 MODULE WEIGHT = 48.5 LBS / 22.0KG.
 MODULE DIMENSIONS = 74.0" x 41.1" = 21.12 SF



MAXIMUM SPAN (DISTANCE BETWEEN 2 ATTACHMENTS) : 48"					
ROOF DESCRIPTION					
ROOF TYPE				ASPHALT SHINGLE	
ROOF	# OF MODULES	ROOF PITCH	AZIMUTH	RAFTER SIZE	RAFTER SPACING
#1	4	33°	211°	2"X4"	16"

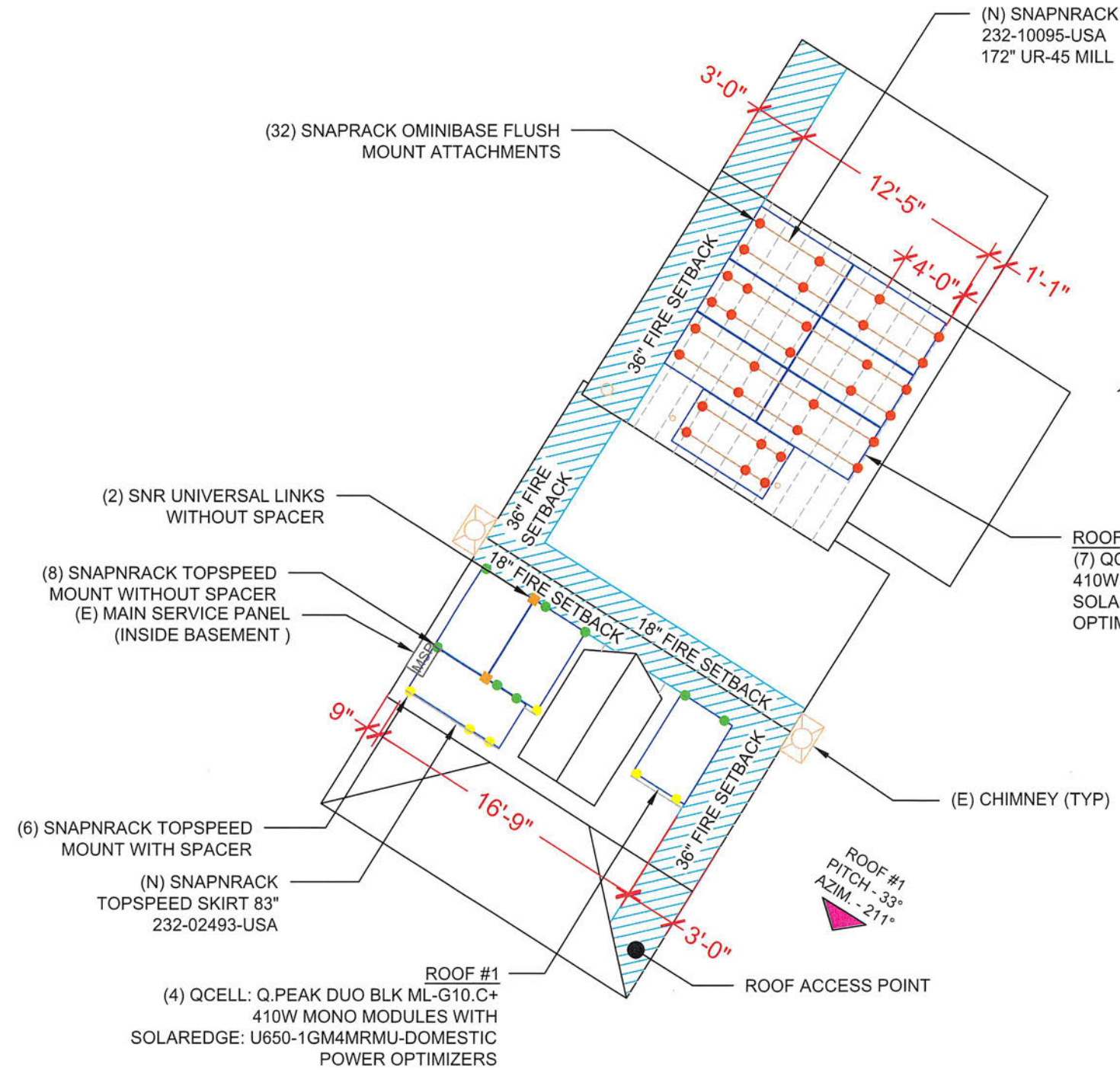


BRILLIANT SOLAR
 1433 HOOPER AVE, STE 330
 TOMS RIVER, NJ 08753

MAXIMUM SPAN (DISTANCE BETWEEN 2 ATTACHMENTS) : 48"						
ROOF DESCRIPTION						
ROOF TYPE				FLAT ROOF		
ROOF	# OF MODULES	ROOF PITCH	MODULE TILT	AZIMUTH	RAFTER SIZE	RAFTER SPACING
#2	7	6°	6°	31°	2"X4"	16"

REVISIONS		
DESCRIPTION	DATE	REV
INITIAL DESIGN	03/10/2026	

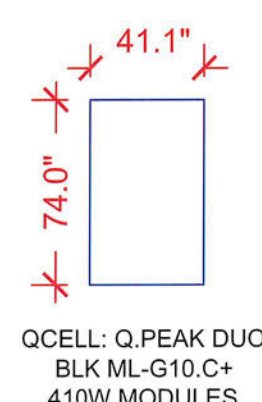
ARRAY AREA & ROOF AREA CALC'S		
TOTAL PV ARRAY AREA (SQ. FT.)	TOTAL ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
218.68	946.22	23



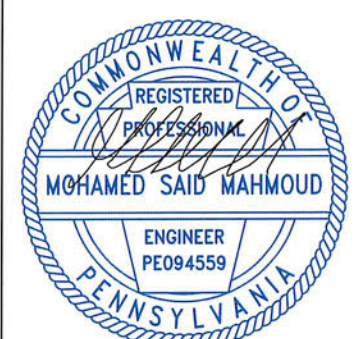
ROOF #2
 PITCH - 6°
 AZIM. - 31°

ROOF #2
 (7) QCELL: Q.PEAK DUO BLK ML-G10.C+
 410W MONO MODULES WITH
 SOLAREEDGE: U650-1GM4MRMU-DOMESTIC POWER
 OPTIMIZERS

ROOF #1
 PITCH - 33°
 AZIM. - 211°

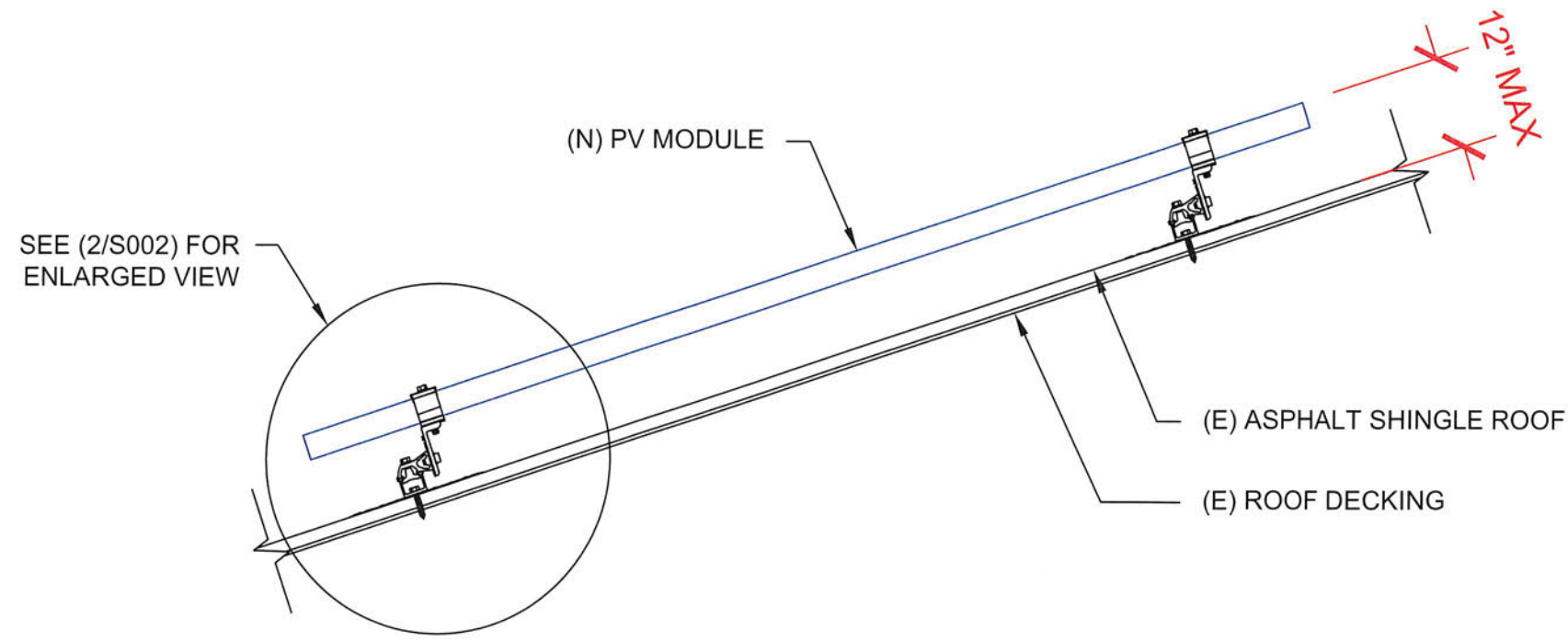


LEGEND	
	- RAIL
	- RAFTER
	- ROOF ATTACHMENT
	- MAIN SERVICE PANEL
	- VENT, ATTIC FAN (ROOF OBSTRUCTION)
	- SNAPNRACK TOPSPEED MOUNT WITHOUT SPACER
	- SNAPNRACK TOPSPEED MOUNT WITH SPACER
	- UNIVERSAL SKIRT
	- SNR UNIVERSAL LINKS WITH SPACER
	- SNR UNIVERSAL LINKS WITHOUT SPACER

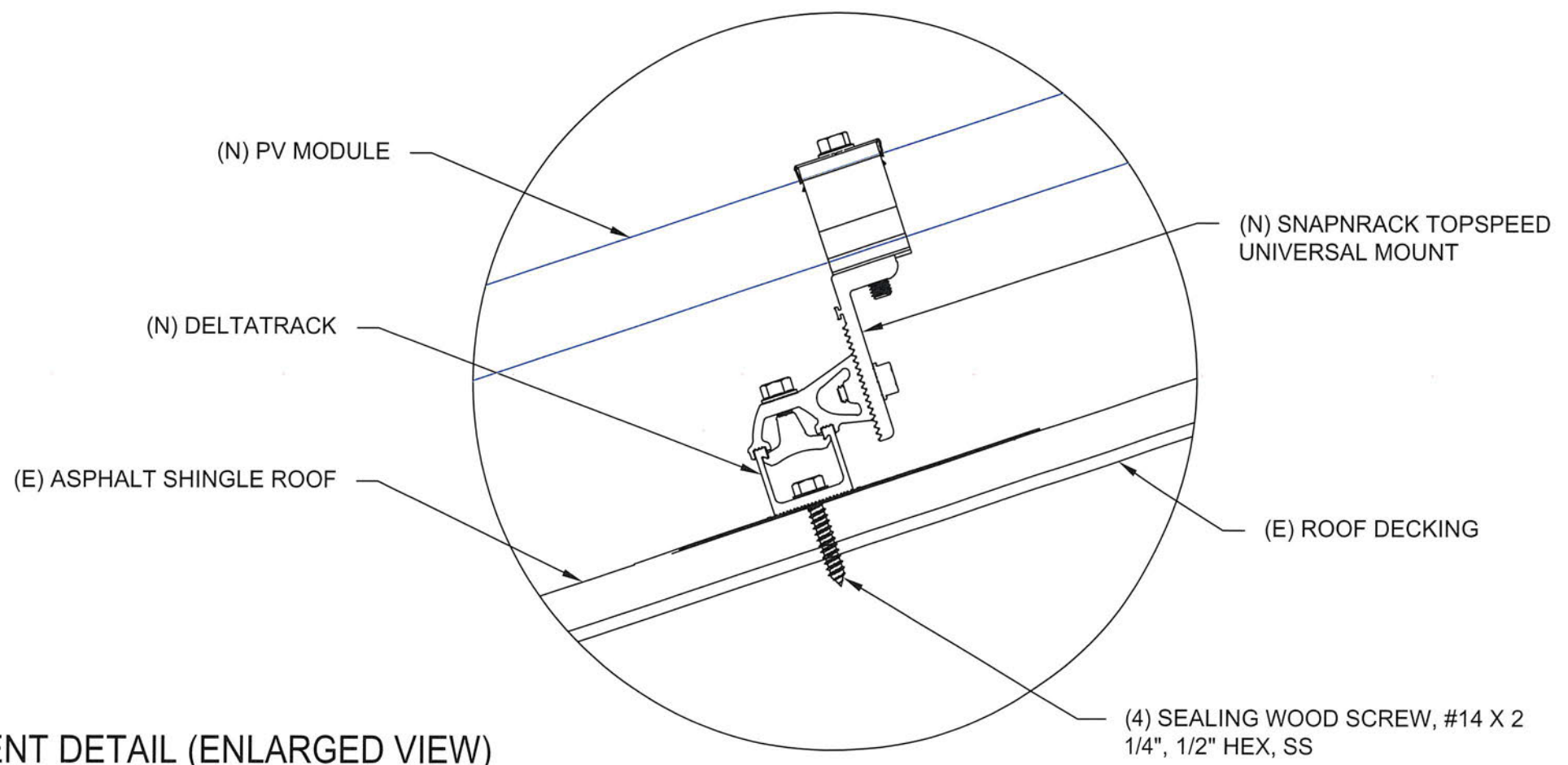


PROJECT NAME & ADDRESS
DEED NAME
 STEPHANIE VALENTINE
UTILITY BILL NAME
 STEPHANIE J VALENTINE
 53 E GERMANTOWN PIKE,
 PLYMOUTH MEETING,
 PA 19462

DRAWN BY
ESR
 SHEET NAME
**ROOF PLAN AND
 MODULES**
 SHEET SIZE
**ANSI B
 11" X 17"**
 SHEET NUMBER
S001



1 ATTACHMENT DETAIL
 S002 SCALE: N.T.S



2 ATTACHMENT DETAIL (ENLARGED VIEW)
 S002 SCALE: N.T.S



BRILLIANT SOLAR
 1433 HOOPER AVE, STE 330
 TOMS RIVER, NJ 08753

REVISIONS		
DESCRIPTION	DATE	REV
INITIAL DESIGN	03/10/2026	



PROJECT NAME & ADDRESS
DEED NAME
 STEPHANIE VALENTINE
UTILITY BILL NAME
 STEPHANIE J VALENTINE
 53 E GERMANTOWN PIKE,
 PLYMOUTH MEETING,
 PA 19462

DRAWN BY
ESR

SHEET NAME
STRUCTURAL DETAIL

SHEET SIZE
**ANSI B
 11" X 17"**

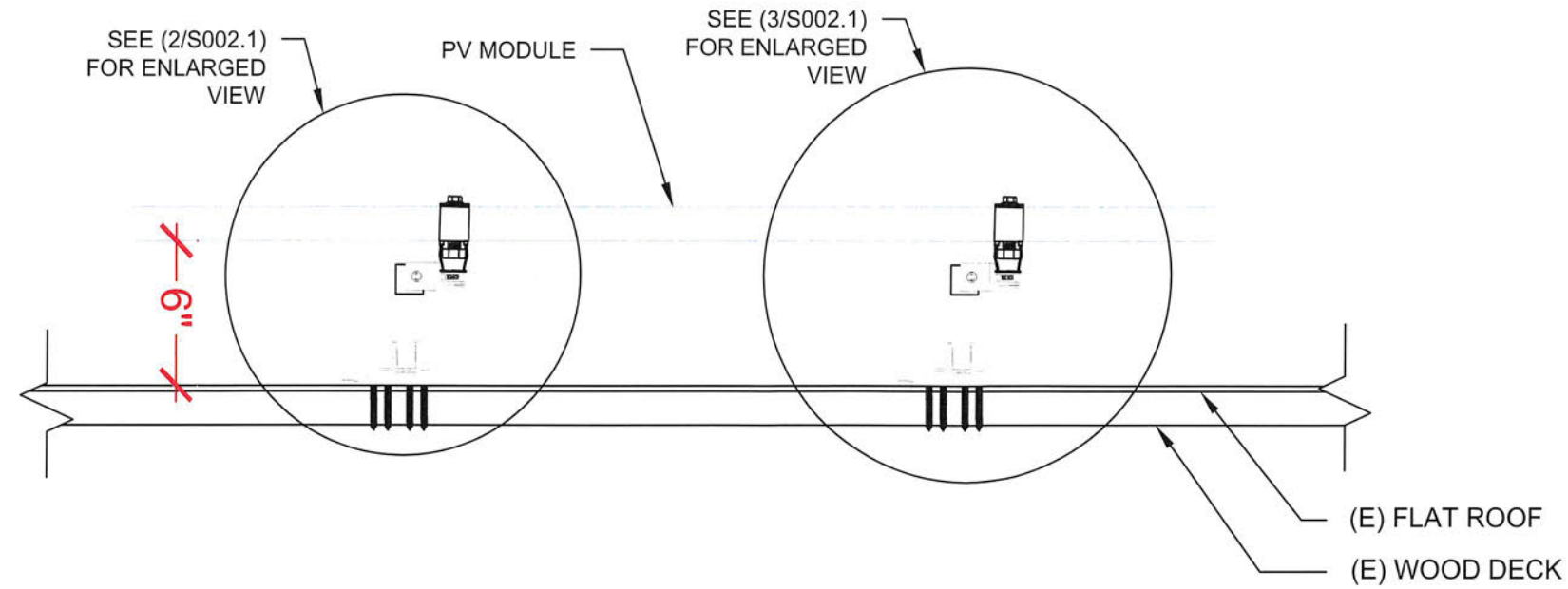
SHEET NUMBER
S002



BRILLIANT SOLAR
 1433 HOOPER AVE, STE 330
 TOMS RIVER, NJ 08753

REVISIONS

DESCRIPTION	DATE	REV
INITIAL DESIGN	03/10/2026	



1 | STRUCTURAL ATTACHMENT (SIDE VIEW)

S002.1

SCALE: N.T.S



PROJECT NAME & ADDRESS

DEED NAME
STEPHANIE VALENTINE

UTILITY BILL NAME
STEPHANIE J VALENTINE

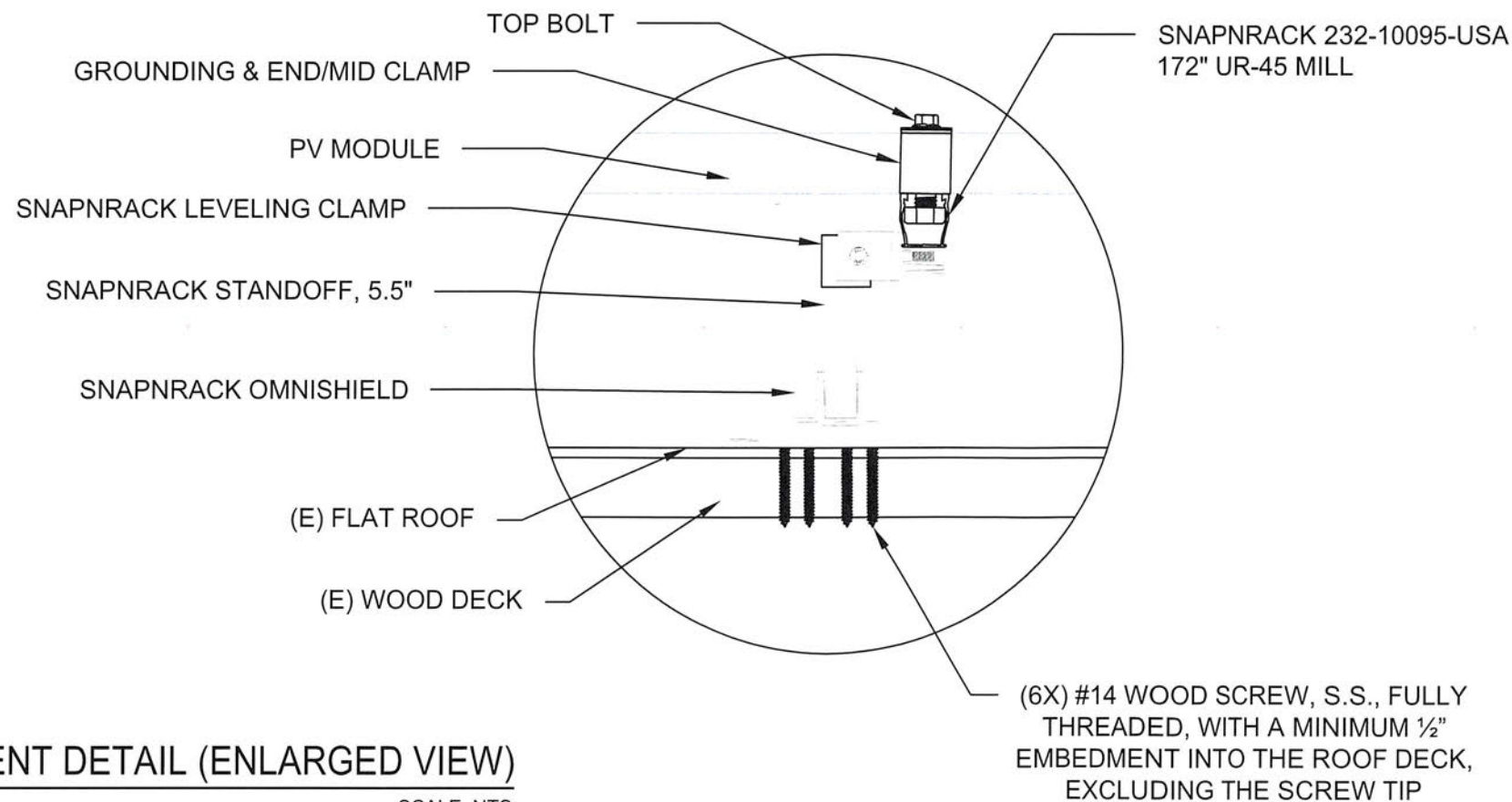
53 E GERMANTOWN PIKE,
 PLYMOUTH MEETING,
 PA 19462

DRAWN BY
ESR

SHEET NAME
STRUCTURAL DETAIL

SHEET SIZE
**ANSI B
 11" X 17"**

SHEET NUMBER
S002.1



2 | ATTACHMENT DETAIL (ENLARGED VIEW)

S002.1

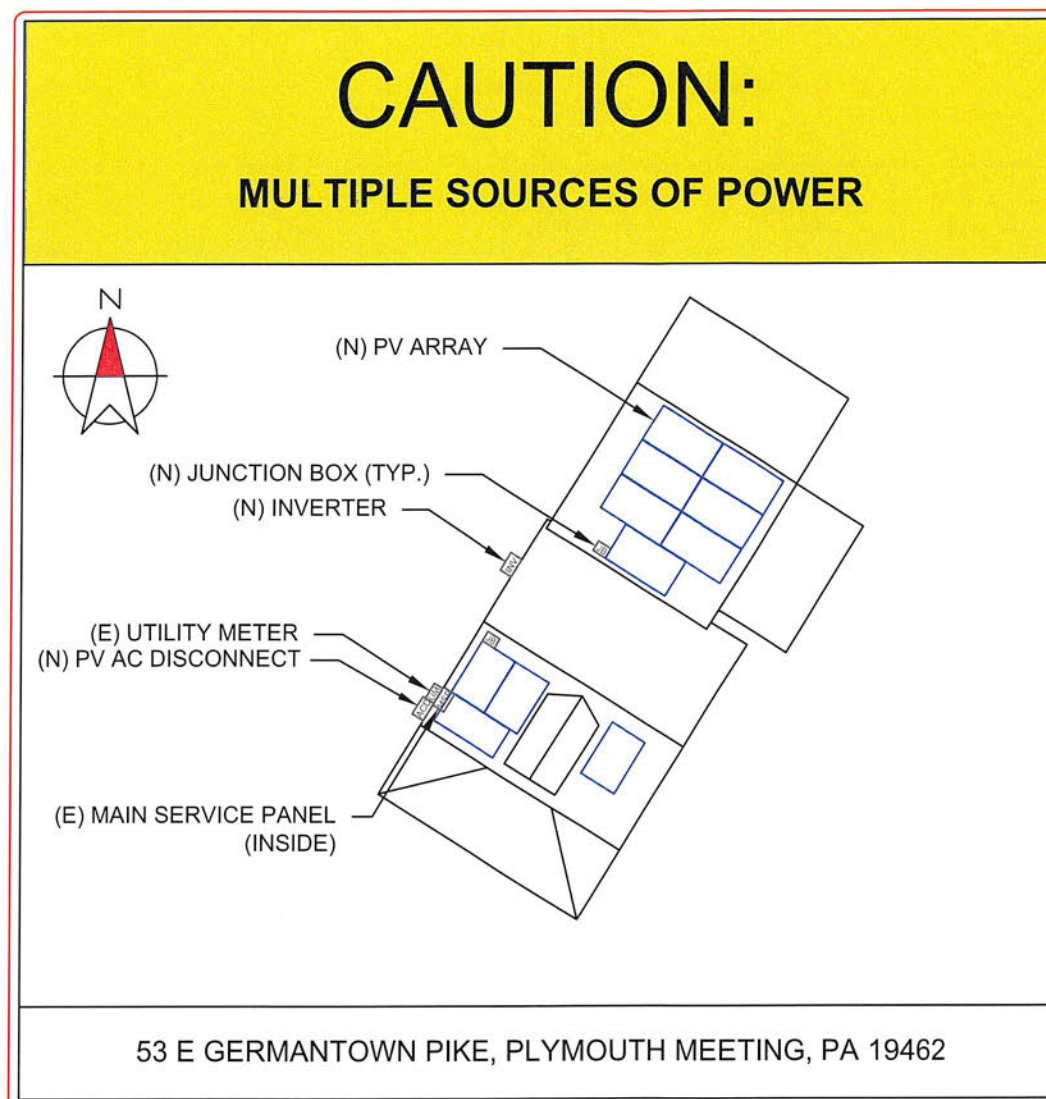
SCALE: NTS



BRILLIANT SOLAR
 1433 HOOPER AVE, STE 330
 TOMS RIVER, NJ 08753

REVISIONS

DESCRIPTION	DATE	REV
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DIRECTORY

PERMANENT PLAQUE OR DIRECTORY PROVIDING THE LOCATION OF THE SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIC SYSTEM.

(ALL PLAQUES AND SIGNAGE WILL BE INSTALLED AS OUTLINED WITHIN: NEC 690.56(A)(B), [NEC 705.10])

PROJECT NAME & ADDRESS

DEED NAME
STEPHANIE VALENTINE

UTILITY BILL NAME
STEPHANIE J VALENTINE

53 E GERMANTOWN PIKE,
PLYMOUTH MEETING,
PA 19462

DRAWN BY

ESR

SHEET NAME

PLACARD

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

E006

LABELING NOTES:

1. LABELS CALLED OUT ACCORDING TO ALL COMMON CONFIGURATIONS. ELECTRICIAN TO DETERMINE EXACT REQUIREMENTS IN THE FIELD PER CURRENT NEC AND LOCAL CODES AND MAKE APPROPRIATE ADJUSTMENTS.
2. LABELING REQUIREMENTS BASED ON THE 2020 NEC, OSHA STANDARD 1910.145, ANSI Z535.
3. MATERIAL BASED ON THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
4. LABELS TO BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED [NEC 110.21]
5. LABELS TO BE A MINIMUM LETTER HEIGHT OF 3/8", WHITE ON RED BACKGROUND; REFLECTIVE, AND PERMANENTLY AFFIXED [NEC 690.56(C)(1)(A)].

HARB

Sign, Roof

BZ 2026-282

B-2026-40



WHITEMARSH TOWNSHIP
APPLICATION FOR PLAN EXAMINATION
FOR BUILDING AND ZONING PERMITS

APPLICANT INSTRUCTIONS: For all applications, complete Parts 1, 2, 3, 4, 5 and 10 of this form. Also complete Part 6 if there is electrical work, Part 7 if there is plumbing work, Part 8 if there is mechanical work, and/or Part 9 if there is work that requires inspections by the Fire Marshal. Site plans (if applicable) is to be shown in Part 11 or attached hereto. Parts 12-19 (Pages 7-8) are for Township use only.

Application Date: 4/1/2026 Permit Type: [X] Building (B) [] Electrical (E) [] Mechanical (M)
Is Owner Applicant? [X] Yes [] No [] Zoning (Z) [] Plumbing (P) [] Other (see Part 10 - inc. wireless facilities)

PART 1. PROPERTY INFORMATION

Address: 29 E Germantown Pike, Plymouth meeting Apt.: Zip: 19462 Zoning District:
Subdivision: Lot Number: Parcel Number: Year Built:
Parcel Type: [] Residential (R) [] Commerical (C) [] Industrial (I) [] Other (O)

PART 2. OWNER INFORMATION

First Name: Joseph Last Name: Narke Phone:
Address: 29 E Germantown Pike 844 Maple Ave City: Plymouth Meeting Berwyn PA
State: PA Zip: 19462 Email Address: 19312

PART 3. CONTRACTOR(S) INFORMATION

Table with 5 columns: NAME OF CONTRACTOR (LAST, FIRST), ADDRESS, CITY, STATE, LICENSE NO. Rows include Applicant (not owner), Architect / Engineer, General Contractor (Sign Company), Excavation (Painting - Self), Concrete, Carpentry, Electrical, Plumbing, Sewer, Mechanical, Roofing (RRR Contractors, Inc.), Masonry (215-993-0789), Drywall or Lathing, Sprinkler, Paving, Fire Alarm.



PART 4. CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such a permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: [Signature] ADDRESS: 29 E Germantown Pike, Plymouth meeting 19462

EMAIL AND PHONE NUMBER REQUIRED

Joe@onsitedetailing.net 6106398126

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE



**WHITEMARSH TOWNSHIP
APPLICATION FOR PLAN EXAMINATION
FOR BUILDING AND ZONING PERMITS**

PART 10. DESCRIPTION OF WORK (Including Wireless Communication Facilities)

Permit Type(s) Required:

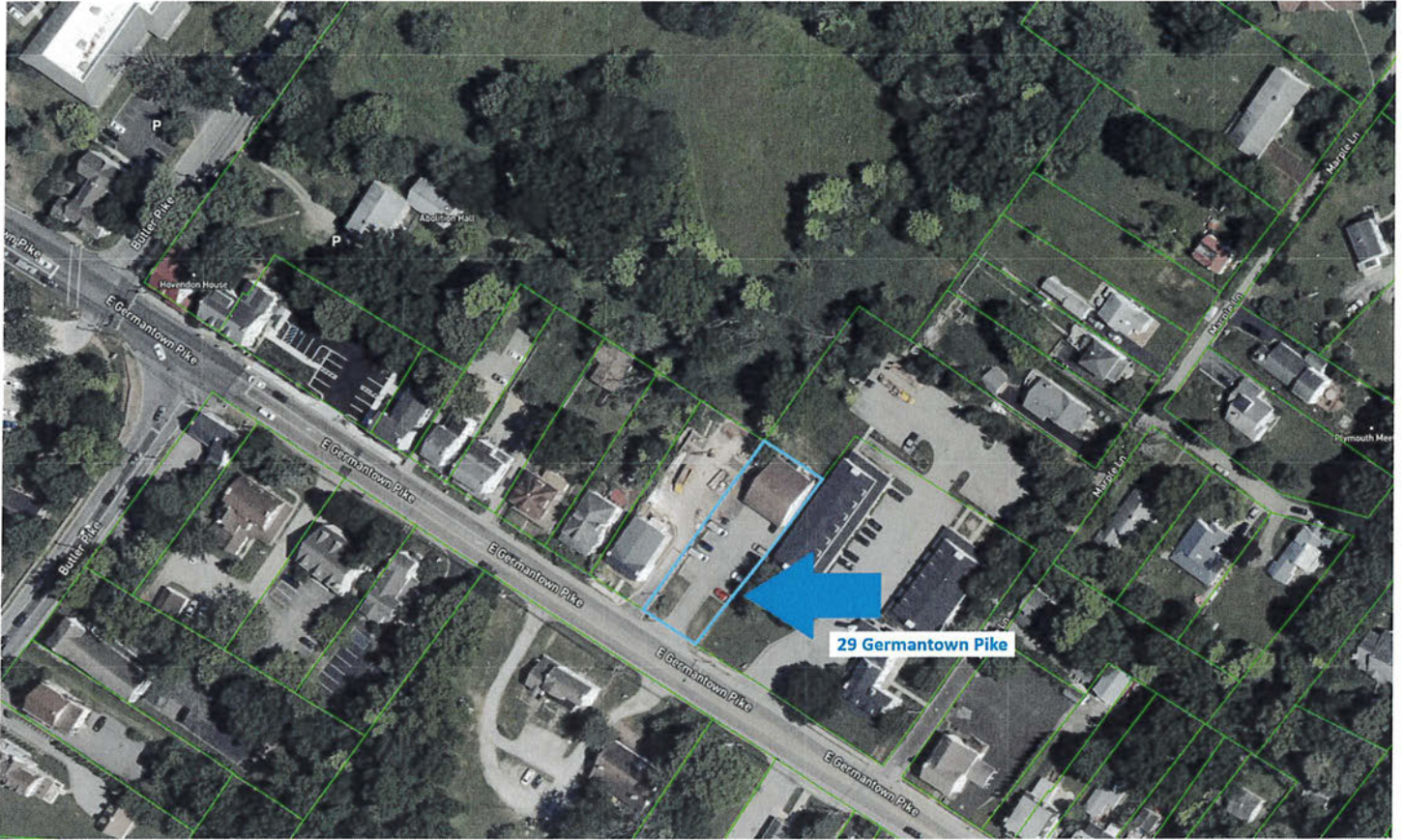
Please provide a brief description of the work that will be performed (attach addition sheets if necessary):

Exterior Painting: Repaint select exterior portions of the building in accordance with the attached renderings, which show the proposed paint locations and color selections.

Standing Seam Metal Roof Installation:
Remove and replace the existing roof surface with a new standing seam metal roof, as shown in the attached materials and specifications.

Signage Installation:
Install new exterior signage in the proposed location and design shown in the attached signage plans and supporting materials.

29 Germantown Pike



SM-150 METAL ROOF SYSTEM



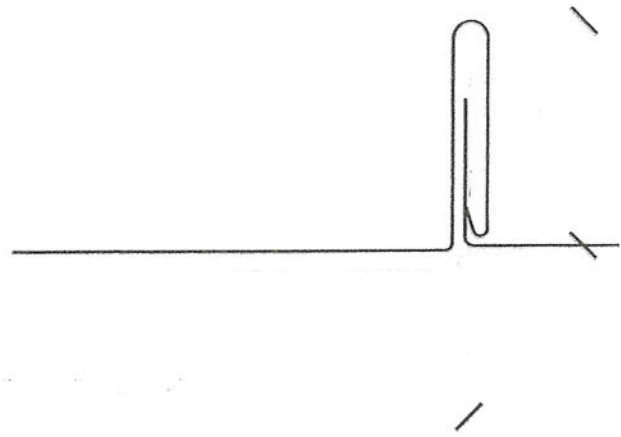
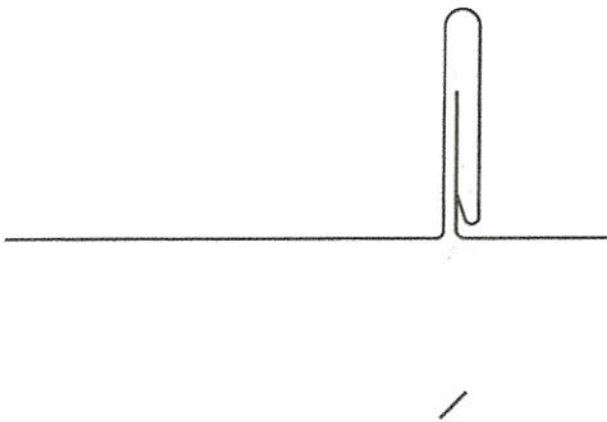
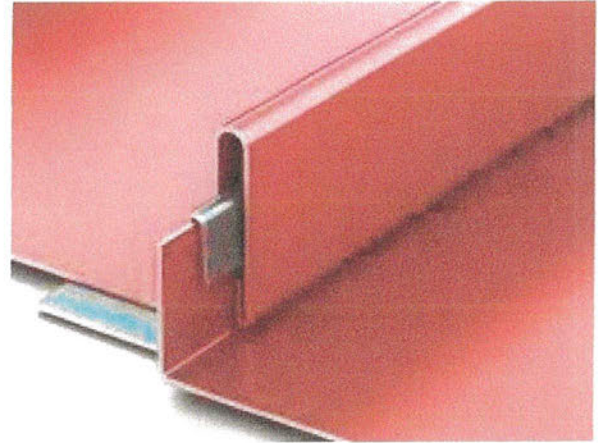
MATERIALS

- .032 aluminum 24 gauge steel
- .040 aluminum 22 gauge steel

SPECS

12", 16" or 18" O.C. 1-1/2" High

UL-90



PRODUCT FEATURES

- Architectural panel
- Continuous interlock
- Labor-saving one-piece design
- Stiffener beads upon request
- Striations upon request
- 30-year-non-prorated finish warranty

UL CLASSIFICATION

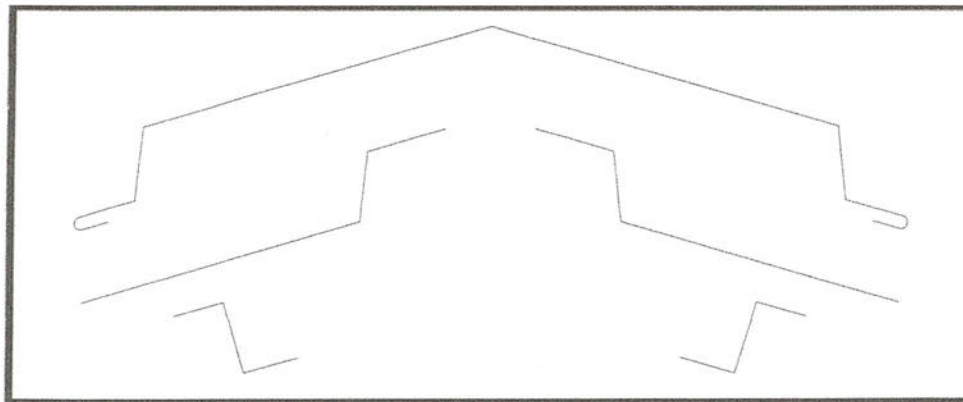
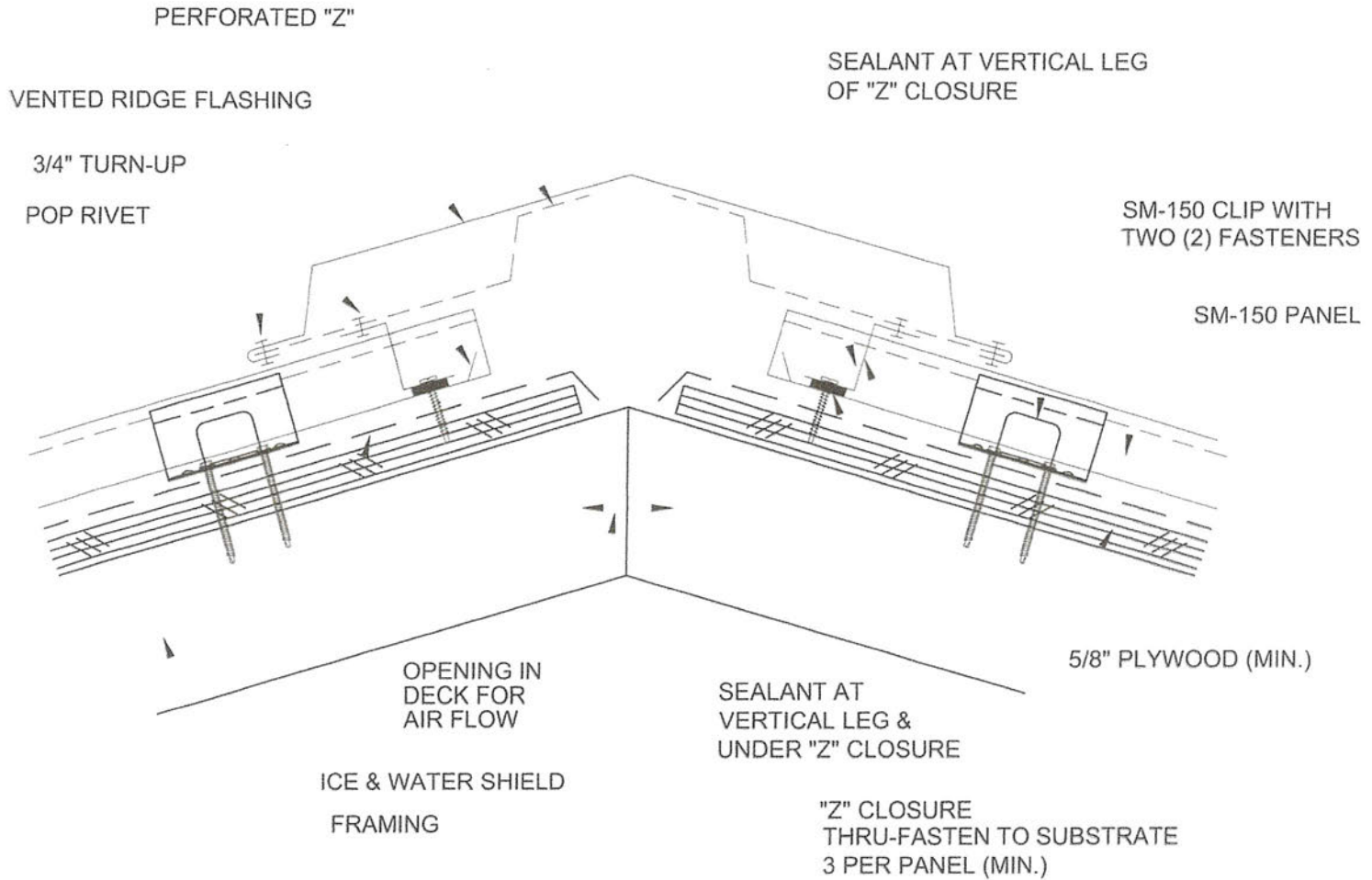
- UL-580 Class 90

ASTM TESTS

- ASTM-E84 tested (Class A Fire Rating)
- Florida Building Code Compliant

Note: UL 90 is available on steel panels up to 18" on center, and on aluminum panels up to 16" on center.

SM 150-VENTED RIDGE



FLASHING COMPONENTS

SM 150-GUTTER



STRIP-IN DRIP FLASHING
WITH ICE & WATER SHIELD

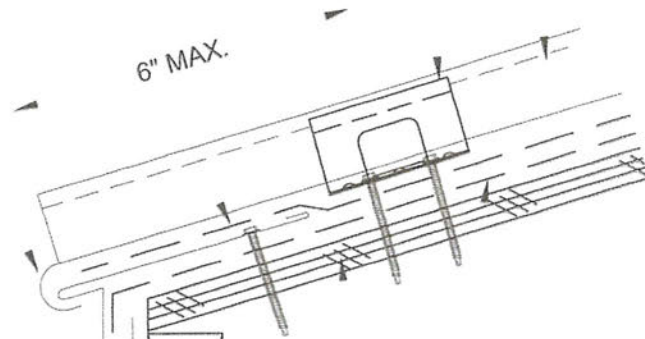
SM-150 CLIP WITH
TWO (2) FASTENERS

SM-150 PANEL

FIELD CUT, BEND
RETURN IN PANEL, &
HOOK RETURN OVER
EAVE FLASHING

EAVE FLASHING
FASTEN 6" o.c.

STRAP PER
ARCHITECT



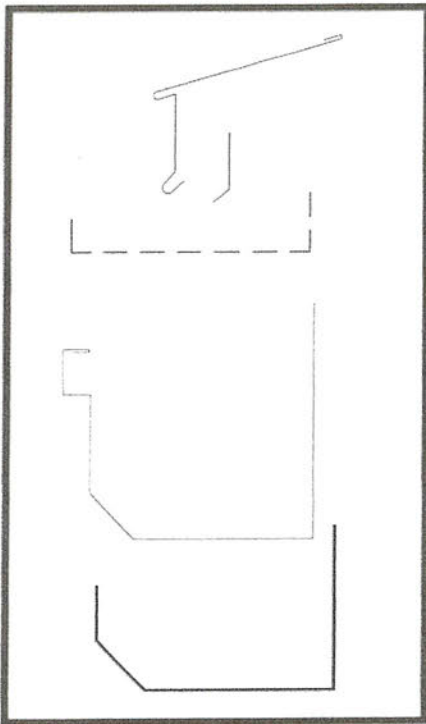
ICE & WATER SHIELD

5/8" PLYWOOD (MIN.)

FASCIA NAILER

GUTTER

GUTTER SUPPORT AS SPECIFIED BY ARCHITECT



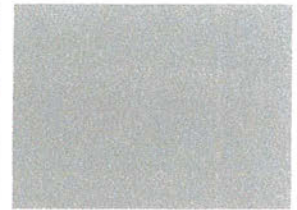
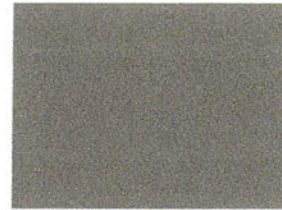
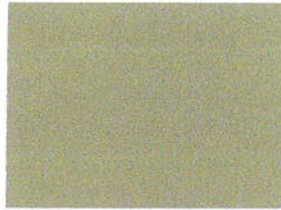
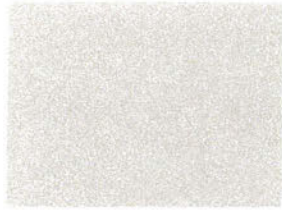
FLASHING COMPONENTS



SPARTAN METALS

412-919-0690

Almond



Stone White

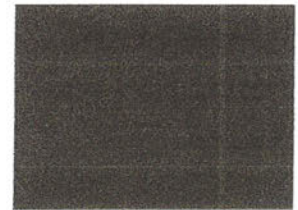
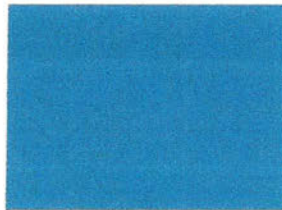
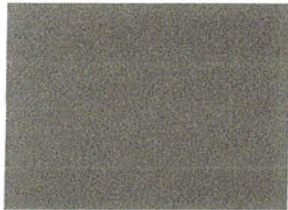
Bone White

Sandstone

Sierra Tan

Slate Gray

Cityscape



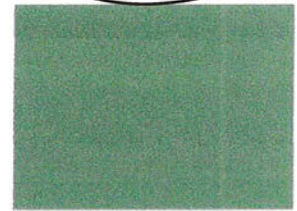
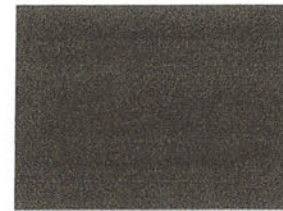
Dark Gray

Charcoal

Slate Blue

Gallery Blue

Matte Black



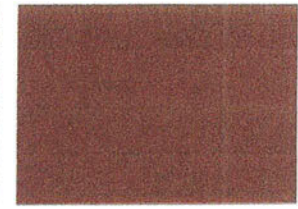
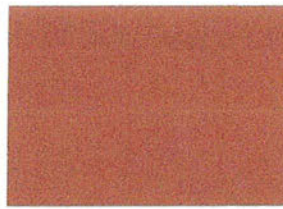
Classic Bronze

Dark Bronze

Burnished Slate

Mansard Brown

Patina Green



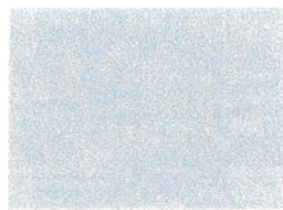
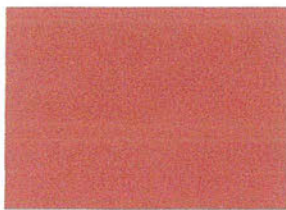
Forest Green

Hartford Green

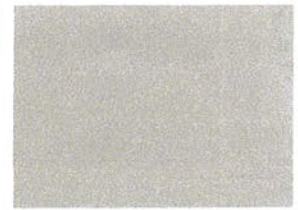
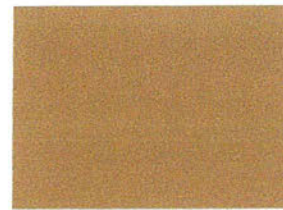
Terra Cotta

Burgundy

Colonial Red



180 Bilmar Drive
Suite 2
Pittsburgh, PA 15205



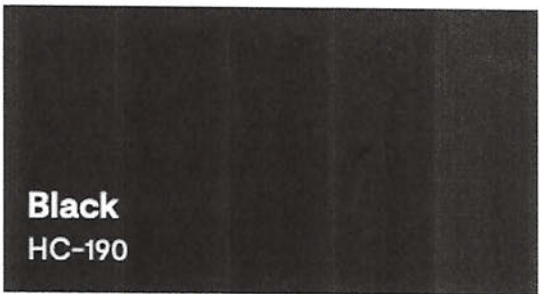
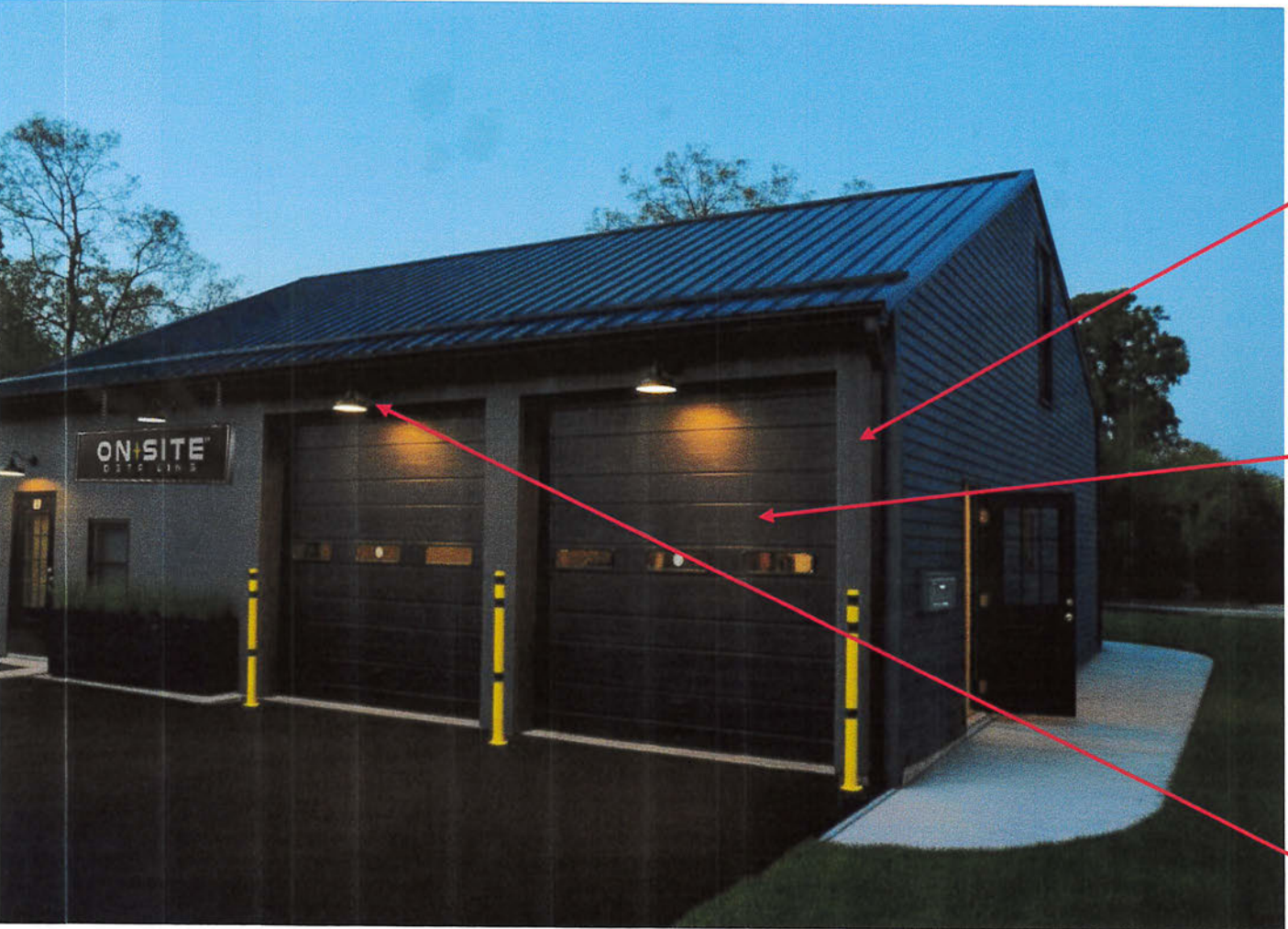
◆ Regal Red

◆ Metallic Silver

◆ Metallic Copper

◆ Metallic Champagne

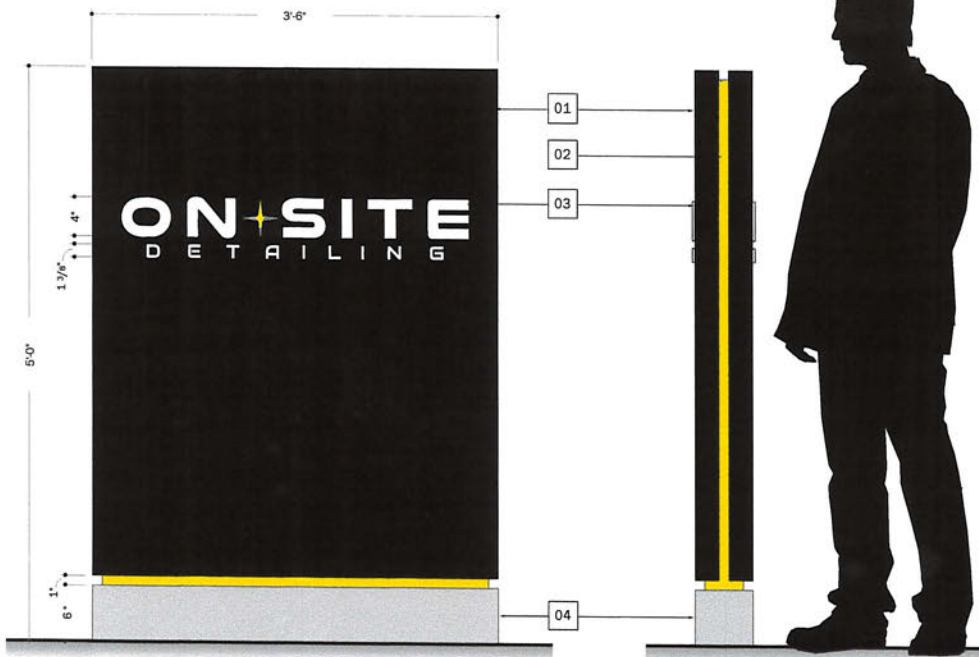
PLEASE NOTE: ◆ Denotes Premium Colors. The colors listed on this color chart are as close to the actual painted metal as possible. Actual color swatches are available upon request. Fluropon® pre-finished galvalume steel and aluminum containing Fluropon® 70% PVDF.



<https://www.amazon.com/Gooseneck-Warehouse-Steel-Farmhouse-Lighting/dp/B09N9YGL95?th=1>



B Elevation - Plan View
Scale: 1" = 1'-0"



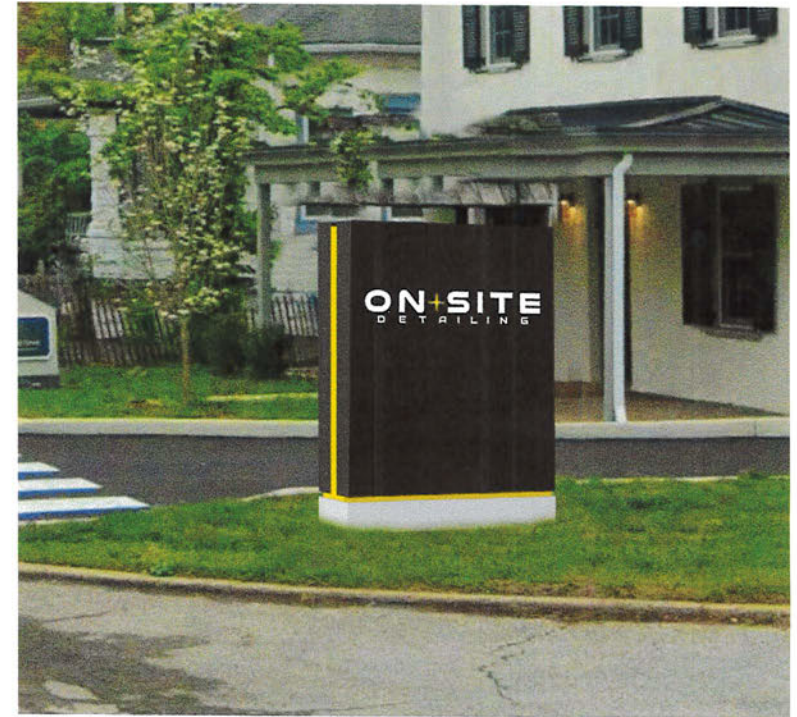
A Elevation - Front View
Scale: 1" = 1'-0"

C Elevation - Side View
Scale: 1" = 1'-0"

D Drop-In Rendering
Scale: NTS

Notes and Specifications

- 01** Sign Face
Fabricated alum. sign face - Paint all surfaces
- 02** Central Cabinet / Reveal
Fabricated alum. sign body - Paint all surfaces
- 03** Logo Lettering
1/4" thk. cut acrylic lettering, bonded to Sign face
- 04** Base
Fabricated alum. sign face - Paint all surfaces



AGS
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610.363.7029 Facsimile

Notes:
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Revisions:

1 Revise per client feedback 3/22/26

△
△
△

Approved Revise and Resubmit

Approved as Noted

Approved/Reviewed By: _____

Date: _____

Client:
On-Site Detailing

Project:
Exterior Signage




Sign Type:
Site ID

Opt 02

Drawn By: **KRD** Start Date: **2/18/2026**

Project and Sheet Number:
000000.01.02





Colors & Finishes

Color/Finish Designation	Color/Finish Reference	Application Description	Application Process	Typeface
 P1	Brand Black	Primary	Surface Sprayed	
 P2	Brand Yellow	Primary	Surface Sprayed	
 P3	Brushed Aluminum	Accent	Surface Sprayed	

Color and Finish Key

Example: P1 ← Finish ID
 ↑
 Color or Finish

- P = Paint
- D = Digital Print or Silkscreen Print
- S = Silkscreen Print
- H = Hot Stamped / Tipped
- V = Vinyl
- M = Special Material
- F = Material Finish

 <p>300 Atrium Way, Suite 200 Mt. Laurel, NJ 08054 USA www.agscollaborative.com 610.363.8150 Telephone 610.363.7029 Facsimile</p>	<p>Notes: Any party accepting this document does so in confidence and agrees that it shall not be duplicated, in whole or in part, nor disclose to others, without the written consent of the client. Reference copy list for copy / graphic specific to each sign location. Contractor shall verify all conditions on site and notify back with any variations from what is shown on the drawings before proceeding with fabrication.</p>	<p>Revisions:</p> <p> Revise per client feedback</p> <p> _____</p> <p> _____</p>	<p>3/22/26</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Revise and Resubmit</p> <p><input type="checkbox"/> Approved as Noted</p> <p>Approved/Reviewed By: _____</p> <p>Date: _____</p>	<p>Client: On-Site Detailing</p> <p>Project: Exterior Signage</p>	<p>Sign Type: Colors</p>	<p>Drawn By: KRD Start Date: 2/18/2026</p> <hr/> <p>Project and Sheet Number: 000000.00.01</p>
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