



**Planning and Zoning
Department**

616 Germantown Pike, Lafayette
Hill, PA 19444-1821

484-594-2625

www.whitemarshtwp.org

Subdivision and Land Development Cover
Page for SLD # 03-22

Project Name:

7111 Sheaff Lane Partners, LLC

Address: 7111 Sheaff Lane

Date: January 25, 2022

Status: Under Review

Updates:

Montgomery County Planning Commission Review Letter - 3.11.2022

Fire Marshal Review Memo - March 16, 2022

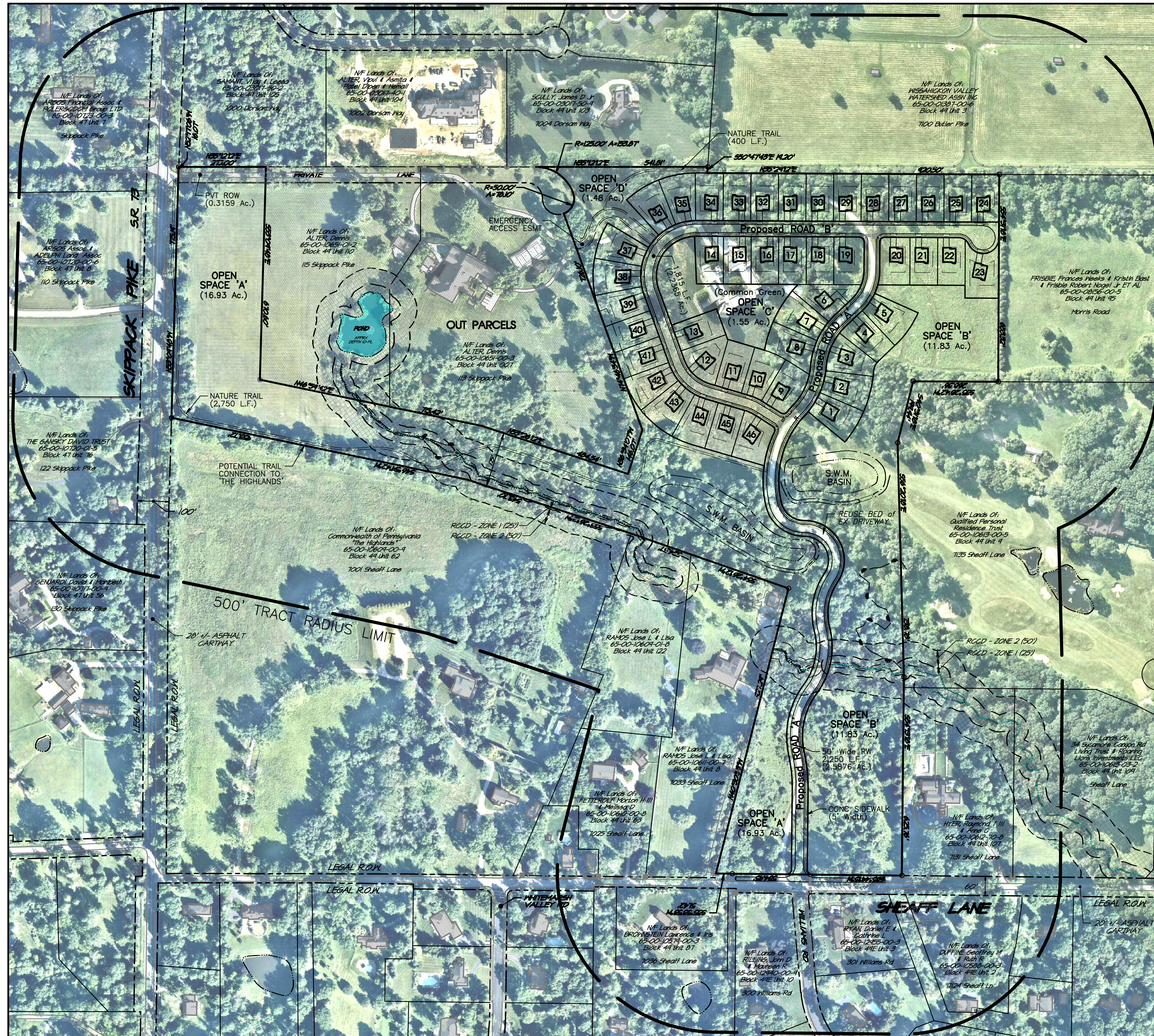
Zoning Compliance Review Letter - May 13, 2022

Township Engineer Review Letter - May 20, 2022

7111 SHEAFF LANE

Prepared For:

7111 Sheaff Lane Partners, LLC



Aerial Imagery provided by Nearmap. Flight date: JUNE 17, 2021

BASE TRACT ZONING: AAA RESIDENTIAL DISTRICT

| Item | Section | Requirement |
|----------------------|----------------------|---------------------------------|
| Permitted Use | 116-44 (116-35.4) | Single-Family Detached Dwelling |
| Min Lot Area | 116-45.A (116-169.A) | 1 Acre 50,000 Sq. Ft. [2] |
| Min Lot Width | 116-45.B | 175 Ft. [1] |
| Min Front Yard (FY) | 116-45.C | 60 Ft. |
| Min Side Yard (SY) | 116-45.D | 30 Ft. |
| Min Rear Yard (RY) | 116-45.E | 30 Ft. |
| Max Bldg Height | 116-45.F(1) | 35 Ft. |
| Max Accessory Height | 116-45.F(2) | 20 Ft / 1 Story |
| Max Bldg Coverage | 116-45.G | 15 % |
| Steep Slope Ratio | 116-169.A | 20:12 % Ratio [2] |
| Max Lot Impervious | 116-169.A | 9 % [2],[3] |

[1] Lot width measured at the Front Setback Line
 [2] Existing Steep Slope Area & Ratio:
 09-12% = 7.57 Ac.
 15-20% = 2.17 Ac.
 25%+ = 0.57 Ac.
 TOTAL = 10.31 Ac. / 51,2362 Ac. = 20.12% Ratio
 [3] No more than 30% of slope 15-25% shall be regraded and/or striped of vegetation.
 No more than 12% of slope 25%+ shall be regraded and/or striped of vegetation.

OPTION #3 - DIMENSIONAL STANDARDS for CONSERVATION DESIGN SUBDIVISION:

| Item | Section | Requirement | PROVIDED |
|----------------------|----------------|------------------|----------------------|
| Max Density | 116-46.C(1) | 49 DU (See F(3)) | 46 DU |
| Min Open Space | 116-46.C(2) | 60 % (See D(5)) | 60.38% (31,790.4 Ac) |
| Min Lot Area | 116-46.C(3) | 13,000 Sq. Ft. | >13,000 Sq. Ft. |
| Min Lot Width | 116-46.C(4) | 75 Ft. | >75 Ft. |
| Min Front Yard (FY) | 116-46.C(5) | 30 Ft. | >30 Ft. |
| Min Side Yard (SY) | 116-46.C(6) | 15 Ft. Ea. | >15 Ft. Ea. |
| Min Rear Yard (RY) | 116-46.C(7) | 40 Ft. | >40 Ft. |
| Max Bldg Height | 116-46.C(8)(a) | 35 Ft. | <35 Ft. |
| Max Accessory Height | 116-46.C(8)(b) | 20 Ft. | <20 Ft. |
| Max Bldg Coverage | 116-46.C(9) | 25 % Lot Area | <25 % Lot Area |

OPTION #3 - DIMENSIONAL STANDARDS for SITE CAPACITY CALCULATIONS:

(per Zoning Ordinance Section 116-273)

A. Base Site Area:

(1) Tract Area: 51,644.3 Ac.
 (2) Subtract:
 (a) Existing road right-of-way: 0.4082 Ac.
 (b) Utility right-of-way: 0.0000 Ac.
 (c) Land with different zoning: 0.0000 Ac.
 (3) Equals base site area: 51,236.2 Ac.

B. Constrained land calculation:

| Resource | Protection Factor | Area of Land | Constrained |
|------------------------------|-------------------|--------------|-------------|
| (1)(a) Floodway | 100% (1.0) | 0.00 Ac. | 0.00 Ac. |
| (1)(b) Floodplain | 50% (0.5) | 0.00 Ac. | 0.00 Ac. |
| (1)(c) Wetlands | 95% (0.95) | 1.19 Ac. | 1.13 Ac. |
| (1)(d) Steep Slopes (25%+) | 85% (0.85) | 0.57 Ac. | 0.48 Ac. |
| (1)(e) Steep Slopes (15-25%) | 25% (0.25) | 2.17 Ac. | 0.54 Ac. |
| (1)(f) Total of Resources | | 3.93 Ac. | 3.15 Ac. |
| (1)(g) Constrained Land | | | 2.15 Ac. |

C. Adjusted tract area calculation:

(1) Base site area (from A(3)): 51,236.2 Ac.
 (2) Subtract constrained land: -2,150.0 Ac.
 (3) Equals adjusted tract area: 49,086.2 Ac.

D. Common open space:

(1) Adjusted tract area (from C(3)): 49,086.2 Ac.
 (2) Multiplied by the Min common open space: 60 %
 Equals: 29,451.7 Ac.
 (3) Plus constrained lands: +2,150.0 Ac.
 (4) Equals Min required common open space: 31,601.7 Ac.

E. Development area calculation:

(1) Adjusted tract area: 49,086.2 Ac.
 (2) Minus Min required common open space: 31,601.7 Ac.
 (3) Equals development area: 17,484.5 Ac.

F. Maximum number of dwelling units calculation:

(1) Adjusted tract area (from C(3)): 49,086.2 Ac.
 (2) Times maximum density factor: 1.0 DU/Ac.
 (3) Equals maximum number of dwelling units: 49 DU

G. Summary of calculations:

(1) Tract Area: 51,644.3 Ac.
 (2) Base site area: 51,236.2 Ac.
 (3) Constrained Land: -2,150.0 Ac.
 (4) Adjusted tract area: 49,086.2 Ac.
 (5) Minimum required common open space: 31,601.7 Ac.
 (6) Development area: 17,484.5 Ac.
 (7) Maximum number of dwelling units: 49 DU

PROJECT WAIVERS LIST:

- The following waivers were granted by Resolution 20-___ adopted on ___/___/20__
- 105-21.8.1: Existing features (i.e., buildings, driveways, roadways, etc.) within 500 ft. of and within the site, should be shown on the plans. Allow use of Aerial Imagery to satisfy.
 - 105-21.8.2(1): Requirement to provide neighborhood context map showing existing features within 1,000 feet. Allow use of Aerial Imagery to satisfy.
 - 105-21.8.3: Requirement to provide Existing Resources and Site Analysis Plan (ERSAP) to show existing conditions within 500 feet of the tract. Allow use of Aerial Imagery to satisfy.
 - 105-30.1A.4: Requires continuous pedestrian circulation. This is a partial waiver to allow use of Nature Trail in lieu of sidewalk along Sheaff Lane.
 - 105-48: Requires street trees be planted along all streets within any land development or major subdivision. Allow required Street trees to be planted in other locations on-site.
 - 105-49: Requires Applicant provide for improvements to the abutting streets. (Skipspack Pike & Sheaff Lane)
 - 105-73: Requires sidewalks to be constructed along all new and existing streets. Allow use of Nature Trail in lieu of sidewalk.
 - 105-74: Requires curbs to be constructed along all new and existing streets. Allow no required curbing along Skipspack Pike & limited curbing along Sheaff Lane.
 - 105-95.8(1): To allow stormwater facilities within the common open space area and that the acreage of the rain gardens be credited towards the minimum common open space.
 - 105-95.8(2): To allow Open Space areas smaller than (3) Acres.
 - Res 2004-8, (1)(C)(3): Requires Soil Cover Control Method as set forth in the U.S. Department of Agriculture, Soil Conservation Service Publication entitled, "Urban Hydrology for Small Watersheds," Technical Release #50 or latest edition thereof.
 - Res 2004-8, (1)(C)(3)(b): Requires all outlet pipes to be minimum diameter of 18", and must be of a material that is not subject to corrosion.
 - 105-48: Request relief from full Street tree quantity as noted in the Compliance Chart on the Landscape Plan.

GENERAL PLAN NOTES

- The metes and bounds illustrated on this plan was prepared from documents of record and without the benefit of a Title Report. This property may be subject to additional rights of others that will be listed in a Title Report. This data has not been verified by field survey and is to be used for planning purposes only. All Bearings shown reflect rotation from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
 - All topographic and existing features illustrated on this plan was prepared from documents of record and has not been verified by field survey and is to be used for planning purposes only. Site elevation datum is referenced per note 3 below.
 - This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (http://websoilsurvey.sc.egov.usda.gov) unless otherwise noted.
 - Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated Feb. 17, 2020, update Sept. 05, 2020.
 - Parcel Plan prepared for Dennis Alter by Charles E. Showmaker, Inc., plan date July 28, 2020, updated Sept. 1, 2020.
 - A field investigation was performed on-site to identify wetlands and waters by Valley Environmental Services, Inc., Emmaus, PA. Site visit on or about March 17, 2021.
 - This site is located within Flood Plain Zone 'X' (Areas determined to be outside the 0.2% annual chance floodplain) as illustrated on Community Plan Number 42091-C-0288-G, effective date March 2, 2019 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan.
 - All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
 - Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information should be relied upon for planning purposes only. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
 - Subject property is zoned 'AAA Residential' as noted on the official Zoning Map for this municipality.
 - This project shall be served by public sanitary sewer by Whitmarsh Township Authority and water services by Ambler Borough Water.
- BASE DEVELOPMENT NOTES:**
- Sheets 1 & 38 through 38 shall be on record at Whitmarsh Township and shall be considered a part of the approved Final Plan as if recorded with same.
 - Public water and sanitary sewer service connections are to be provided with this development. All utilities shall be installed underground.
 - The subject parcels comprising this Land Development are subject to any/all recorded restrictions, including but not limited to the following: Building Setback Lines, Ultimate/Required Rights-of-Way widths, Easements of Record and Subdivision Ordinances and Building Codes. No known restrictions will adversely impact this application.
 - No structure, fence, planting or other structure shall be maintained between a plane two (2) feet above curb level and a plane seven (7) feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front yard which is within the clear sight triangle.
 - Trash collection shall be via a curbside contract with a private contractor.
 - All right-of-way dedication areas noted on this plan are hereby offered for dedication to the authority having jurisdiction at the time of final plan recording.
 - The permanent removal of topsoil from the land within the Township shall be prohibited.
 - The lot improvements illustrated on these plans, including but not limited to the Dwelling footprint and driveway locations are shown as a design proposal for each lot. Final lot development is subject to individual lot grading permit plans to be submitted to the Township for review and approval.
 - An as-built survey of all stormwater BMPs must be submitted to the Township in paper and digital (DWG) formats.
 - A pre-construction conference with the Township Shade Tree Commission is required prior to start of construction. After the inspection is complete, the Shade Tree Commission shall notify the Township in writing. Upon Township approval, demolition, grading, and construction may proceed.
 - Stormwater facilities shall be owned and maintained by the property owner in perpetuity. The property owner shall provide a blanket stormwater access easement to the Township for the purpose of access to the stormwater facilities. If, in the judgment of the Township Engineer, the owner has failed to maintain the stormwater facilities in such a manner that the Township is required to perform maintenance or repairs, the Township shall have the right to enter upon the lands of the owner and to make any repairs as may be necessary to the stormwater facilities to ensure that such facilities function and perform in accordance with the design specifications. Any and all costs incurred by the Township for such repairs and/or maintenance shall be paid in full by the owner. A lien or liens may be placed against the property if the owner fails to remit payment within sixty (60) days.
 - All common open space shall be permanently restricted from future subdivision and development. Under no circumstances shall any development be permitted in the common open space at any time, except for those uses listed in § 116-275. Common open space land use and design standards.
 - The proposed Open Space provided will be owned by the individual lot owners and maintained by an Association created for this development.
 - The uses allowed within the Common Open Space shall be covered by Zoning Section 116-274.A. These uses are as follows: (1) woodland, fallow field, managed meadow, (2) passive, noncommercial recreation areas, (3) active recreation areas, (4) easements for drainage, access, sewer or water lines or other public purposes, (5) underground utility rights-of-way.
 - Any proposed mechanical (HVAC units) equipment is to be located behind dwellings and any units located within street view will be screened with plantings.
 - Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
 - The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
 - Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
 - Whitmarsh Township shall erect, at the developer's expense, at every street intersection, a street sign meeting Township approval, having thereon the names of the intersecting streets.

REVISIONS

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN: 2021 1120944 April 22, 2021

Pennsylvania 811

Parcel Information: 7111 Sheaff Lane Partners, LLC
 TP: 65-00-10611-50-7 Block 49, Unit 86
 7111 Sheaff Lane
 TP: 65-00-10611-50-2 Block 49, Unit 84
 Sheaff Lane
 TP: 65-00-10612-60-9 Block 49, Unit 106
 7129 Sheaff Lane

Deed Area: 51,644.4 Ac.
 Private Lane: 0.3159 Ac.
 Util. RW: 0.4083 Ac.
 NET Area: 50,920.2 Ac.

Applicant: 7111 Sheaff Lane Partners, LLC
 c/o Mr. Sal Poone, VP
 1120 N. Bethlehem Pike
 Spring House, PA 15777
 (215) 542-1331

Scale in Feet (1" = 200')

PRELIMINARY PLAN (Not To Be Recorded)

RECORD PLAN - INDEX SHEET

7111 SHEAFF LANE

WHITMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 15002
 Phone: (215) 542-3948 Web: www.woodrowinc.com

Layer List: Sh01_Record
 Job No: 20-1013 D
 Plan Date: Nov. 17, 2021
 Sheet No: 1 of 38

RECORDER OF DEEDS: RECORDED THIS ___ DAY OF ___ 20___ IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, PENNSYLVANIA IN PLAN BOOK ___ PAGE NUMBER ___

RECORDER OF DEEDS: MSCP No.:

PROCESSED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date: ___/___/20___

For the Director
 Montgomery County Planning Commission

DEVELOPER CERTIFICATION: COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONTGOMERY : SS

On the ___ day of ___ 20___ before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania residing in ___

who acknowledged his plan to be the official plan of the highways and property shown thereon situated in Township of Whitmarsh, Montgomery County, Pennsylvania and desired that this plan be recorded according to law. Witness my hand and notaries seal the day and year aforesaid.

(SEAL) (Notary Public) My Commission Expires: ___/___/20___

In witness whereof, the said corporation has caused its corporate seal to be affixed by the hand of its president and some to be attested by its secretary, this ___ day of ___ 20___

(Name of Company) (Owner)

(Signature) (Witness)

RECORD OWNER CERTIFICATION: COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONTGOMERY : SS

On the ___ day of ___ 20___ before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania residing in ___

who acknowledged his plan to be the official plan of the highways and property shown thereon situated in Township of Whitmarsh, Montgomery County, Pennsylvania and desired that this plan be recorded according to law. Witness my hand and notaries seal the day and year aforesaid.

(I/We, ___ (Owner(s)) of BLOCK 49 UNIT(s) 88, 94, & 106, do hereby certify that the title of the property is in the name of 7111 SHEAFF LANE PARTNERS, LLC, as recorded in Deed Book Vol. ___ Page ___ Recorder of Deeds Office.

TOWNSHIP BOARD OF SUPERVISORS: This subdivision (land development) plan was approved by the Whitmarsh Township Board of Supervisors this ___ day of ___ 20___

(Chairman) (Secretary)

REVIEWED BY THE TOWNSHIP ENGINEER: This subdivision (land development) plan was reviewed by the Whitmarsh Township Engineer on this ___ day of ___ 20___

(Township Engineer)

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION: I, KEVIN R. GIBBONS, a Registered Professional Land Surveyor in the Commonwealth of Pennsylvania, Registration No. 044550-L, do hereby certify to the best of my knowledge, the existing features, topography metes and bounds shown on this plan are in accordance with the minimum standards of practice for Professional Land Surveyors in the Commonwealth of Pennsylvania as adopted by the Pennsylvania Society of Land Surveyors in July of 1996 (or as subsequently adopted).

PROFESSIONAL ENGINEER'S CERTIFICATION: I certify that the proposed facility is underlain by areas of limestone.

(SIGNATURE)

PROJECT SHEET INDEX

| SHEET No. | SHEET DESCRIPTION | SHEET No. | SHEET DESCRIPTION |
|-------------|-------------------------------------|-------------|--|
| 1 of 38 | RECORD PLAN - INDEX SHEET | 26-27 of 38 | PROFILE: CROSS-LOT UTILITIES |
| 2 of 38 | RECORD PLAN - OVERALL TRACT | 28-31 of 38 | RESERVED - SECTION 'A'-D' |
| 3 of 38 | EXISTING FEATURES PLAN | 32 of 38 | E&S CONTROL SPECIFICATIONS |
| 4-7 of 38 | LAYOUT PLAN - SECTION 'A'-D' | 33 of 38 | E&S CONTROL SPECIFICATIONS |
| 8-11 of 38 | DEVELOPMENT PLAN - SECTION 'A'-D' | 34 of 38 | FOR FUTURE STORMWATER MANAGEMENT PLAN |
| 12 of 38 | STRUCTURE SCHEDULES & NOTES | 35 of 38 | SUBMISSION STORMWATER CATEGORIES |
| 13-16 of 38 | LANDSCAPE PLAN - Section 'A'-D' | 36-38 of 38 | DRAINAGE AREA BOUNDARY SHEETS |
| 17-20 of 38 | CONSTRUCTION DETAILS - Sheet 'A'-D' | | |
| 21-25 of 38 | PROPOSED ROAD PROFILES | | |

PLAN SHEET RECORDING NOTE: Plan sheets 1 thru 5 are to be recorded with the Montgomery County Recorder of Deeds Office. Plan sheets 1 thru 38 (inclusive), on record with Whitmarsh Township, shall be considered a part of the approved Final Plan as if recorded with same.

GENERAL PLAN NOTES

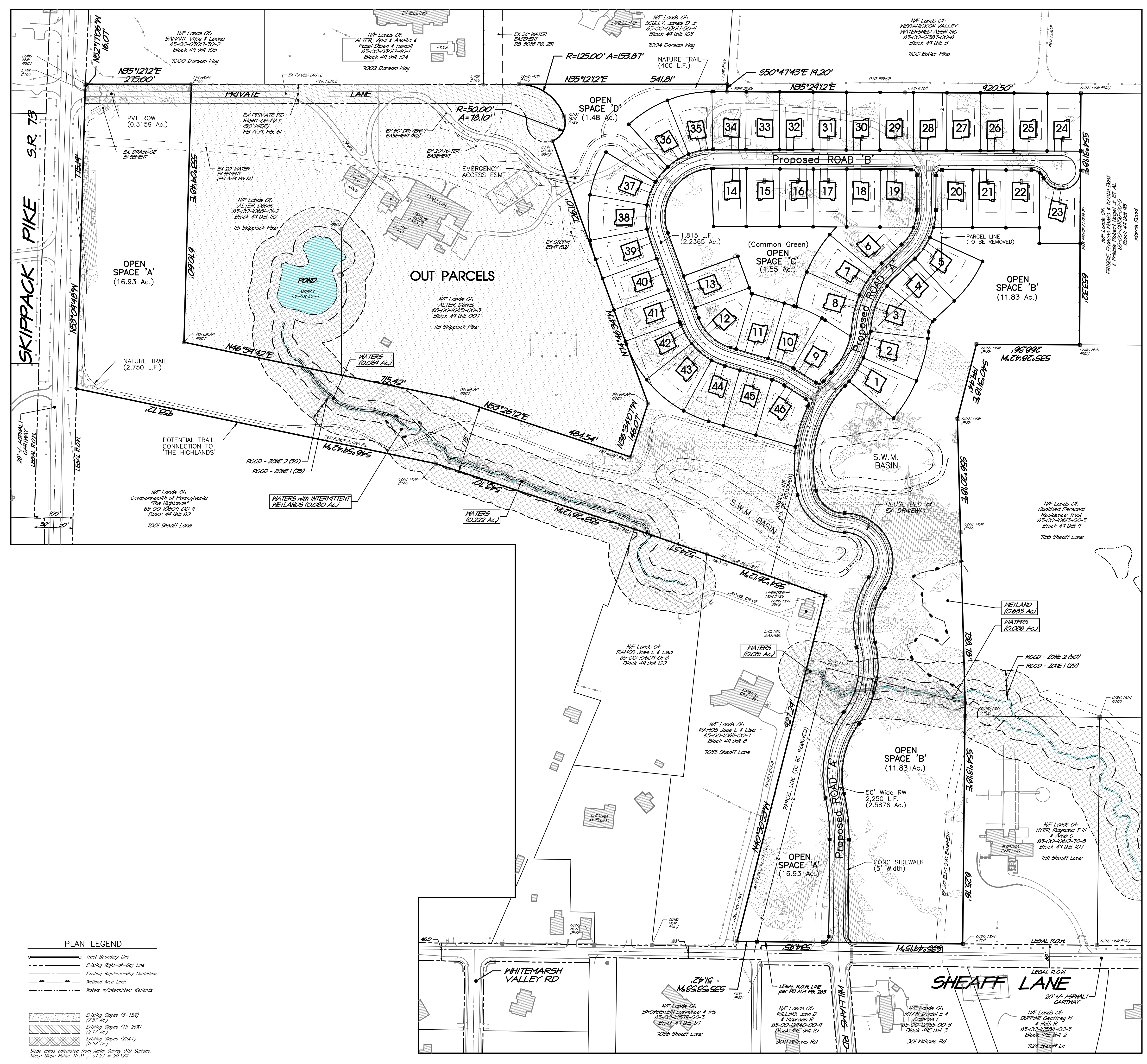
Refer to RECORD PLAN - COVER SHEET (Sheet 1) for all 'EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'.

LOT AREA SCHEDULE:

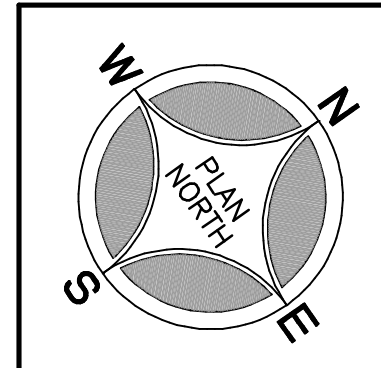
| LOT No. | LOT AREA (Sq. Ft.) | LOT WIDTH (Ft.) | BLDG. AREA (Sq. Ft.) | (%) BLDG. COVERAGE | IMPERVIOUS (Sq. Ft.) |
|---------|--------------------|-----------------|----------------------|--------------------|----------------------|
| 1 | 13,928.01 | 80.0 | 1,790 | 12.85 | 3,790 |
| 2 | 13,929.26 | 80.0 | 1,790 | 12.85 | 3,790 |
| 3 | 13,112.50 | 112.0 | 1,790 | 13.65 | 3,790 |
| 4 | 13,350.27 | 95.6 | 1,790 | 13.41 | 3,790 |
| 5 | 14,633.90 | 80.0 | 1,790 | 12.23 | 3,790 |
| 6 | 14,194.86 | 134.0 | 1,790 | 12.61 | 3,790 |
| 7 | 13,928.57 | 80.0 | 1,790 | 12.85 | 3,790 |
| 8 | 14,778.73 | 105.0 | 1,790 | 12.11 | 3,790 |
| 9 | 13,955.60 | 90.0 | 1,790 | 12.83 | 3,790 |
| 10 | 13,049.65 | 76.0 | 1,790 | 13.72 | 3,790 |
| 11 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 12 | 13,459.63 | 132.0 | 1,790 | 13.30 | 3,790 |
| 13 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 14 | 13,210.80 | 90.0 | 1,790 | 13.55 | 3,790 |
| 15 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 16 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 17 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 18 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 19 | 14,077.84 | 95.0 | 1,790 | 12.72 | 3,790 |
| 20 | 14,286.60 | 95.0 | 1,790 | 12.53 | 3,790 |
| 21 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 22 | 13,001.69 | 87.0 | 1,790 | 13.77 | 3,790 |
| 23 | 16,186.96 | 106.2 | 1,790 | 11.06 | 3,790 |
| 24 | 13,048.36 | 87.0 | 1,790 | 13.72 | 3,790 |
| 25 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 26 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 27 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 28 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 29 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 30 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 31 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 32 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 33 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 34 | 13,148.58 | 87.0 | 1,790 | 13.62 | 3,790 |
| 35 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 36 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 37 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 38 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 39 | 13,821.43 | 85.0 | 1,790 | 12.95 | 3,790 |
| 40 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 41 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 42 | 13,467.83 | 75.0 | 1,790 | 13.29 | 3,790 |
| 43 | 14,634.72 | 80.0 | 1,790 | 12.23 | 3,790 |
| 44 | 14,214.78 | 85.0 | 1,790 | 12.59 | 3,790 |
| 45 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 46 | 14,746.83 | 110.0 | 1,790 | 12.14 | 3,790 |

Proposed (Total) Lot Impervious: 174,340 Sq. Ft.
 Proposed Road Cartway: 115,408 Sq. Ft.
 Proposed Concrete Sidewalk: 38,235 Sq. Ft.
TOTAL PROJECT IMPERVIOUS: 327,983 Sq. Ft.

- Lot width at the front building (setback) line.
- Plan provided sample footprint provided to illustrate zoning compliance and for stormwater computations.
- Total Lot Impervious provided for stormwater management purposes. Any future impervious above the provided will require additional on-lot stormwater management.



REVISIONS



SEAL

SEAL

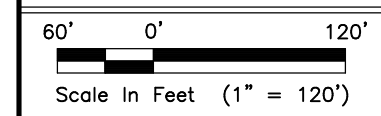
PROJECT SERIAL NUMBER FOR DESIGN:
 2021 1120944
 April 22, 2021



Parcel Information:
7111 Sheaff Lane Partners, LLC.
 TP: 65-00-10651-50-7
 Block 49, Unit 88
 7111 Sheaff Lane
 TP: 65-00-10611-50-2
 Block 49, Unit 94
 Sheaff Lane
 TP: 65-00-10612-60-9
 Block 49, Unit 106
 7129 Sheaff Lane

Deed Area: 51.6444 Ac.
 Private Lane: 0.3159 Ac.
 Util. RW: 0.4083 Ac.
 NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
 c/o Mr. Sal Poone, VP
 1120 N. Bethlehem Pike
 Spring House, PA 19477
 (215) 542-1331

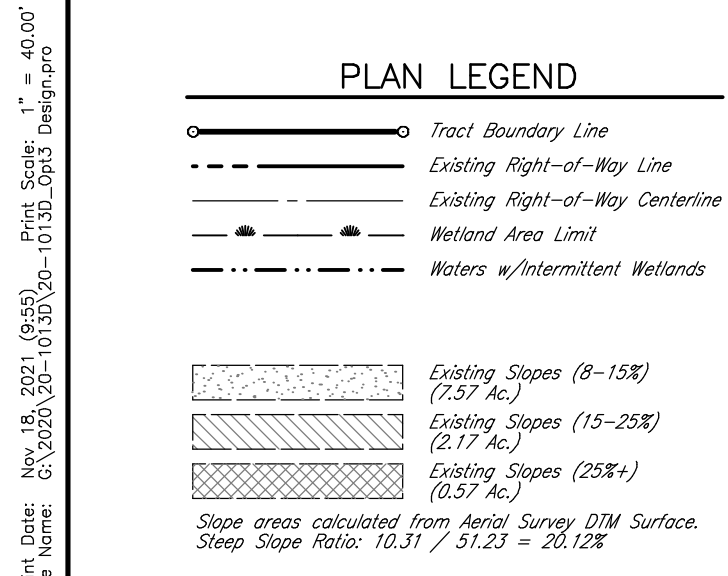
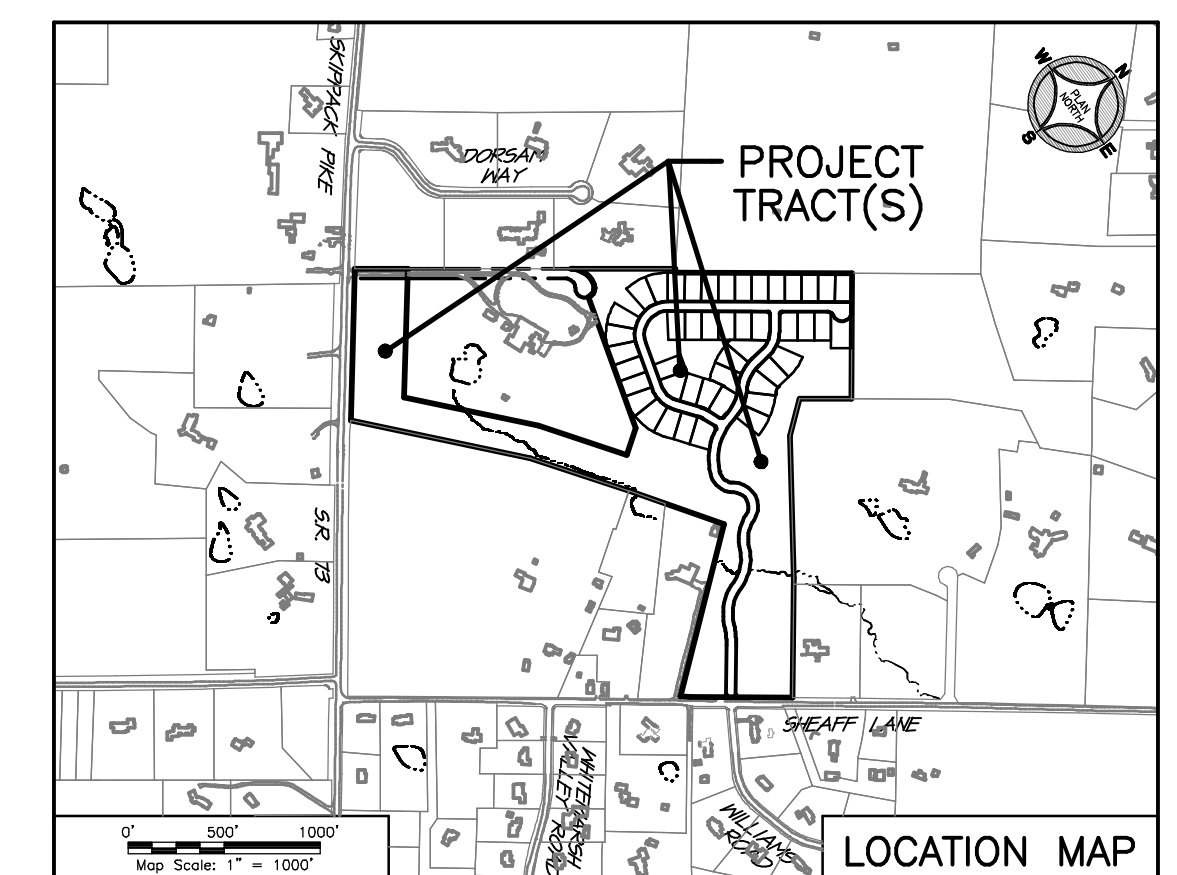


Scale in Feet (1" = 120')
 © COPYRIGHT 2021
 WOODROW & ASSOCIATES, INC.
 ALL RIGHTS RESERVED.

WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gateway - c/o
 Phone: (212) 542-3048 Web: www.woodrowinc.com

RECORD PLAN - OVERALL TRACT
 7111 SHEAFF LANE
 WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

Layer List:
 Sh02_Record
 Job No: 20-1013 D
 Plan Date: **NOV. 17, 2021**
 Sheet No: 2 of 38



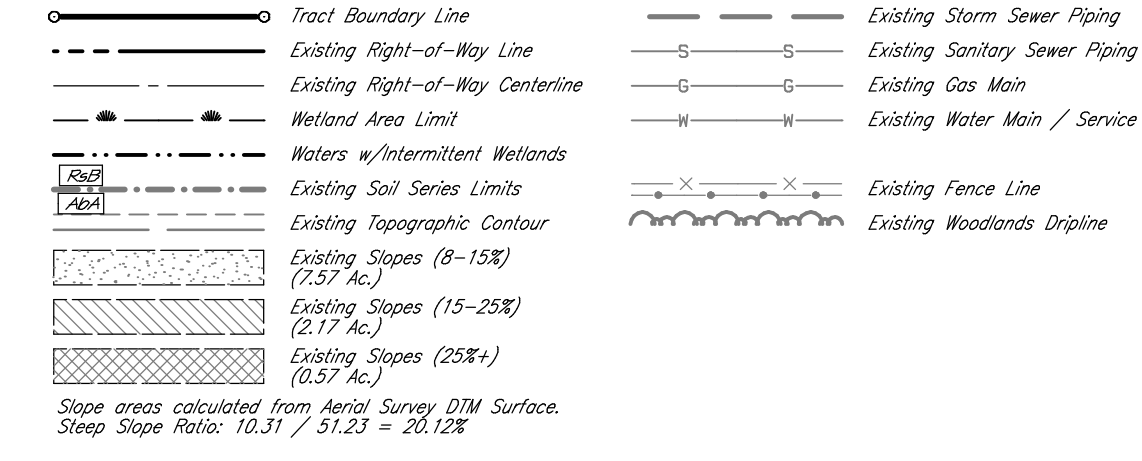
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 File Name: C:\2020\20-1013\20-1013-01.dwg



PROJECT SOILS DATA

| Soils Type: | Slopes (percent) | Depth to Restrictive Feature: | Depth to Water Table: | Hydrologic Soil Group |
|--------------------------------------|-------------------|---|-----------------------|-----------------------|
| Aba / AbB Abbottstown silt loam | 0 to 3 3 to 8 | 18"-22" to Frogsipon 46"-50" to Lithic Bedrock | 6 to 18" | D |
| BaA Buckingham silt loam | 0 to 3 | 20"-40" to Frogsipon 80"-99" to Lithic Bedrock | 6 to 18" | B/D |
| CrA Crotan silt loam | 0 to 3 | 18"-20" to Frogsipon 40"-60" to Lithic Bedrock | 0 to 6" | D |
| LoB / LoC Lonsdale loam | 3 to 8 8 to 15 | 42"-60" to Lithic Bedrock | More than 80" | B |
| LaA / LaB Lawrenceville silt loam | 0 to 3 3 to 8 | 24"-38" to Frogsipon 48"-99" to Lithic Bedrock | 18 to 36" | C |
| PlC Penn_Lonsdale complex | 8 to 15 | 20"-40" to Lithic Bedrock | More than 80" | B |
| ReA / ReB Readington silt loam | 0 to 3 3 to 8 | 20"-36" to Frogsipon 40"-70" to Lithic Bedrock | 18 to 36" | C |

PLAN LEGEND

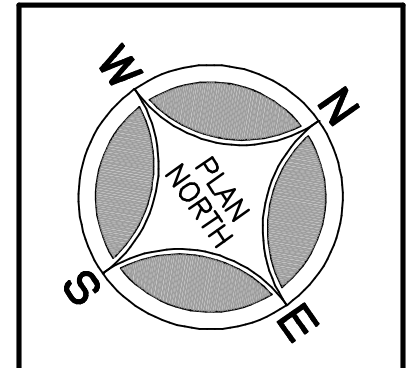


PARCEL AREA SCHEDULE

| PARCEL ID: | GROSS AREA: | R.O.W. AREA: | NET AREA: |
|--------------------|-------------|--------------|-------------|
| Block 49 Unit 088: | 29.2594 Ac. | -0.3159 Ac. | 28.9435 Ac. |
| Block 49 Unit 094: | 15.0389 Ac. | -0.0349 Ac. | 15.0040 Ac. |
| Block 49 Unit 106: | 7.3461 Ac. | -0.3734 Ac. | 6.9727 Ac. |
| TOTAL: | 51.6444 Ac. | -0.7242 Ac. | 50.9202 Ac. |

* Area of Private Lane

REVISIONS



SEAL

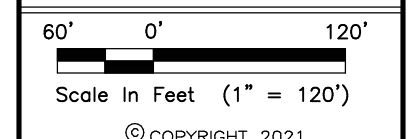
SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021



Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane
Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

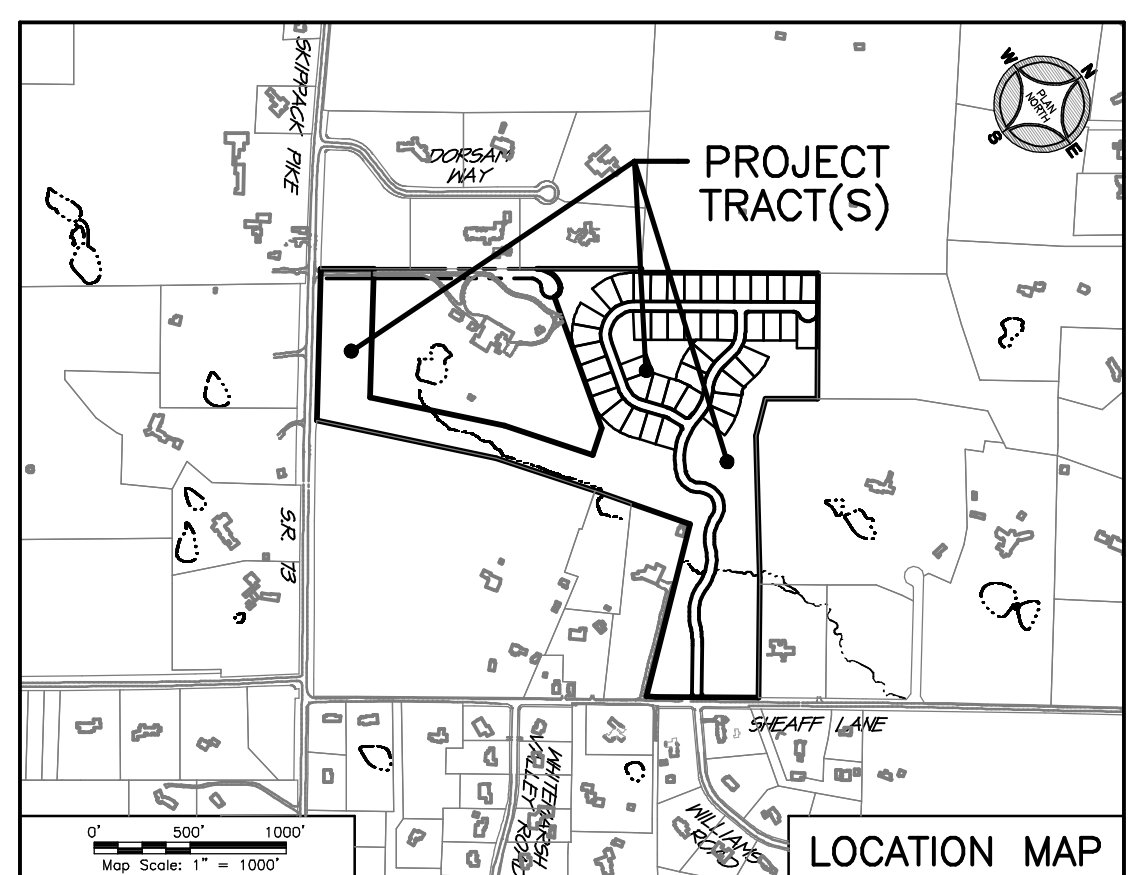


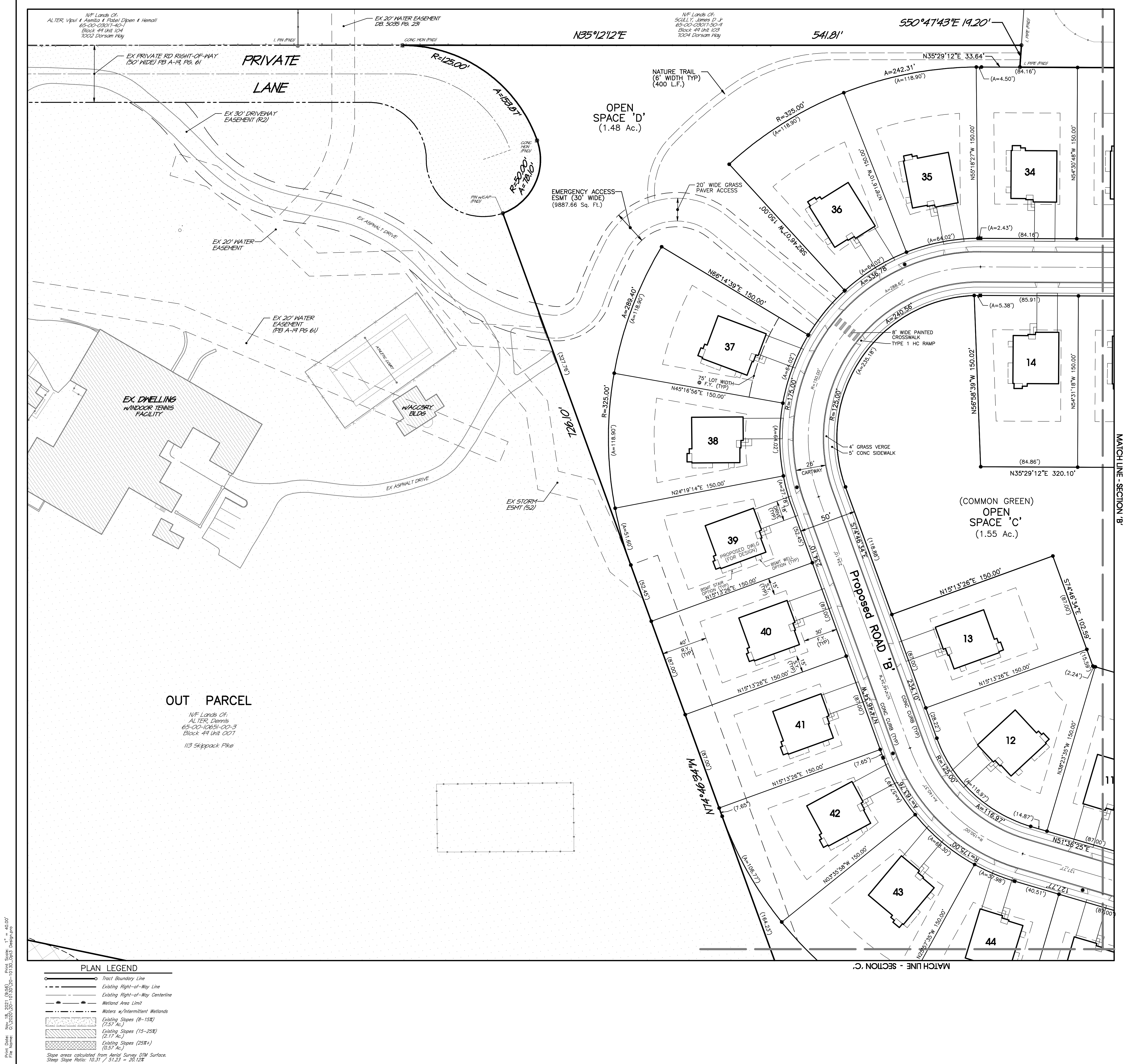
Scale in Feet (1" = 120')

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PRELIMINARY PLAN (Not To Be Recorded)
EXISTING FEATURES PLAN
7111 SHEAFF LANE
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List:
Sh03_ExtFea
Job No:
20-1013 D
Plan Date:
NOV. 17, 2021
Sheet No:
3 of 38





GENERAL PLAN NOTES

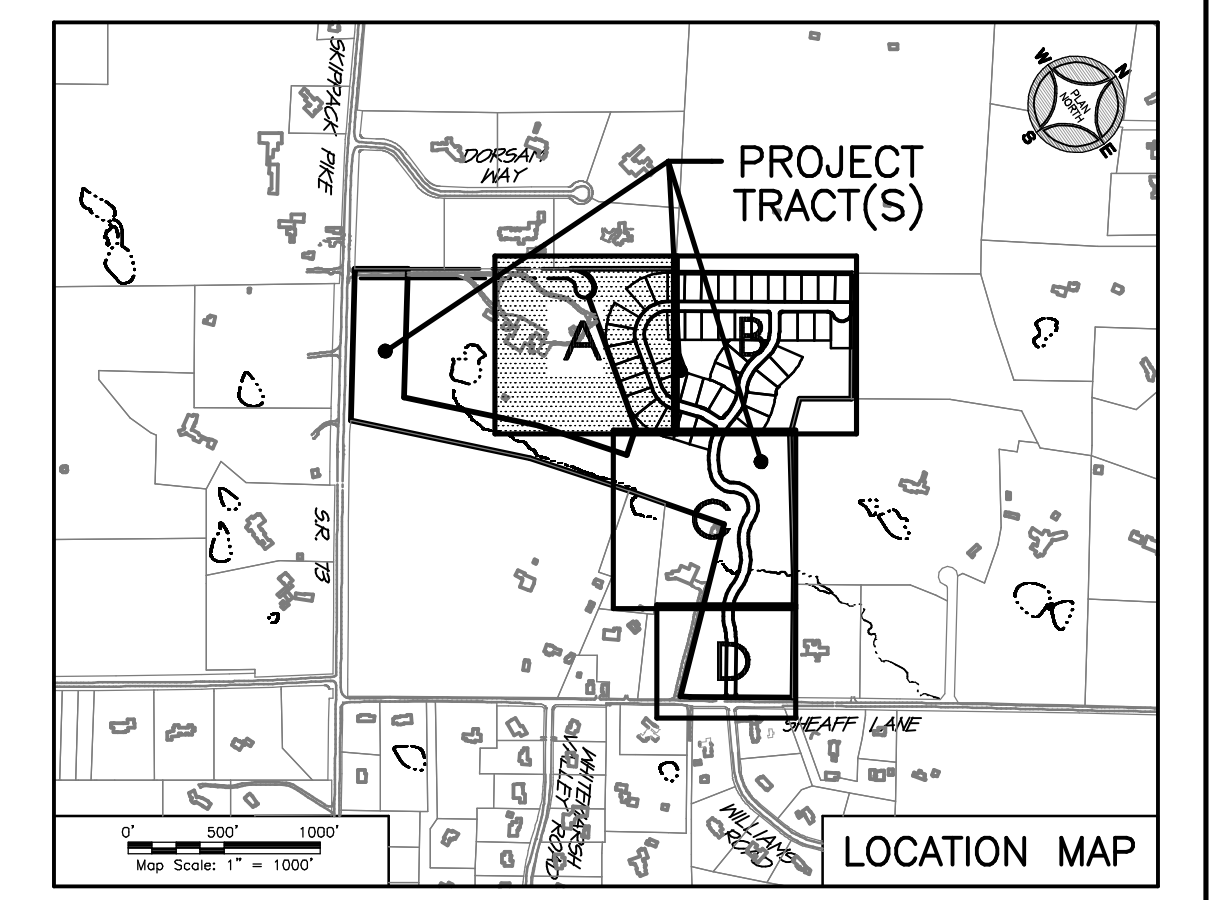
Refer to RECORD PLAN - COVER SHEET (Sheet 1) for all 'EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'.

LOT AREA SCHEDULE:

| LOT No. | LOT AREA (Sq. Ft.) | LOT WIDTH (Ft.) | BLDG. AREA (Sq. Ft.) | (%) BLDG. COVERAGE | IMPERVIOUS (Sq. Ft.) |
|---------|--------------------|-----------------|----------------------|--------------------|----------------------|
| 1 | 13,928.01 | 80.0 | 1,790 | 12.85 | 3,790 |
| 2 | 13,929.26 | 80.0 | 1,790 | 12.85 | 3,790 |
| 3 | 13,112.50 | 112.0 | 1,790 | 13.65 | 3,790 |
| 4 | 13,350.27 | 95.6 | 1,790 | 13.41 | 3,790 |
| 5 | 14,633.90 | 80.0 | 1,790 | 12.23 | 3,790 |
| 6 | 14,194.86 | 134.0 | 1,790 | 12.61 | 3,790 |
| 7 | 13,928.57 | 80.0 | 1,790 | 12.85 | 3,790 |
| 8 | 14,778.73 | 105.0 | 1,790 | 12.11 | 3,790 |
| 9 | 13,955.60 | 90.0 | 1,790 | 12.83 | 3,790 |
| 10 | 13,049.65 | 76.0 | 1,790 | 13.72 | 3,790 |
| 11 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 12 | 13,459.63 | 132.0 | 1,790 | 13.30 | 3,790 |
| 13 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 14 | 13,210.80 | 90.0 | 1,790 | 13.55 | 3,790 |
| 15 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 16 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 17 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 18 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 19 | 14,077.84 | 95.0 | 1,790 | 12.72 | 3,790 |
| 20 | 14,286.60 | 95.0 | 1,790 | 12.53 | 3,790 |
| 21 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 22 | 13,001.69 | 87.0 | 1,790 | 13.77 | 3,790 |
| 23 | 16,186.96 | 106.2 | 1,790 | 11.06 | 3,790 |
| 24 | 13,048.36 | 87.0 | 1,790 | 13.72 | 3,790 |
| 25 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 26 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 27 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 28 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 29 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 30 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 31 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 32 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 33 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 34 | 13,148.58 | 87.0 | 1,790 | 13.62 | 3,790 |
| 35 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 36 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 37 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 38 | 13,719.51 | 75.0 | 1,790 | 13.05 | 3,790 |
| 39 | 13,821.43 | 85.0 | 1,790 | 12.95 | 3,790 |
| 40 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 41 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 42 | 13,467.83 | 75.0 | 1,790 | 13.29 | 3,790 |
| 43 | 14,634.72 | 80.0 | 1,790 | 12.23 | 3,790 |
| 44 | 14,214.78 | 85.0 | 1,790 | 12.59 | 3,790 |
| 45 | 13,050.00 | 87.0 | 1,790 | 13.72 | 3,790 |
| 46 | 14,746.83 | 110.0 | 1,790 | 12.14 | 3,790 |

Proposed (Total) Lot Impervious: 174,340 Sq. Ft.
 Proposed Road Cartway: 115,408 Sq. Ft.
 Proposed Concrete Sidewalk: 38,235 Sq. Ft.
TOTAL PROJECT IMPERVIOUS: 327,983 Sq. Ft.

- Lot width at the front building (setback) line.
- Plan provided sample footprint provided to illustrate zoning compliance and for stormwater computations.
- Total Lot Impervious provided for stormwater management purposes. Any future impervious above the provided will require additional on-lot stormwater management.



REVISIONS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
 2021 1120944
 April 22, 2021

Pennsylvania 811

Parcel Information:
 7111 Sheaff Lane Partners, LLC.
 TP: 65-00-10651-50-7
 Block 49, Unit 86
 7111 Sheaff Lane
 TP: 65-00-10611-50-2
 Block 49, Unit 84
 Sheaff Lane
 TP: 65-00-10612-60-9
 Block 49, Unit 106
 7129 Sheaff Lane

Deed Area: 51.6444 Ac.
 Private Lane: 0.3159 Ac.
 Util. RW: 0.4083 Ac.
 NET Area: 50.9202 Ac.

Applicant:
 7111 Sheaff Lane Partners, LLC
 c/o Mr. Sal Poone, VP
 1120 N. Bethlehem Pike
 Spring House, PA 19477
 (215) 542-1331

Scale in Feet (1" = 40')

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 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 19002
 Phone: (215) 542-3949 Web: www.woodrowinc.com

PRELIMINARY PLAN (Not To Be Recorded)
RECORD PLAN - Section 'A'
 WHITEHART TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

Layer List:
 Sh04-07_Record

Job No:
 20-1013 D

Plan Date:
 NOV. 17, 2021

Sheet No:
4 of 38

NF Lands Of:
WISSAHICKON VALLEY WATERSHED ASSN INC
65-00-10613-00-5
Block 44 Unit 3
7100 Duffer Pike



MATCH LINE - SECTION 'A'

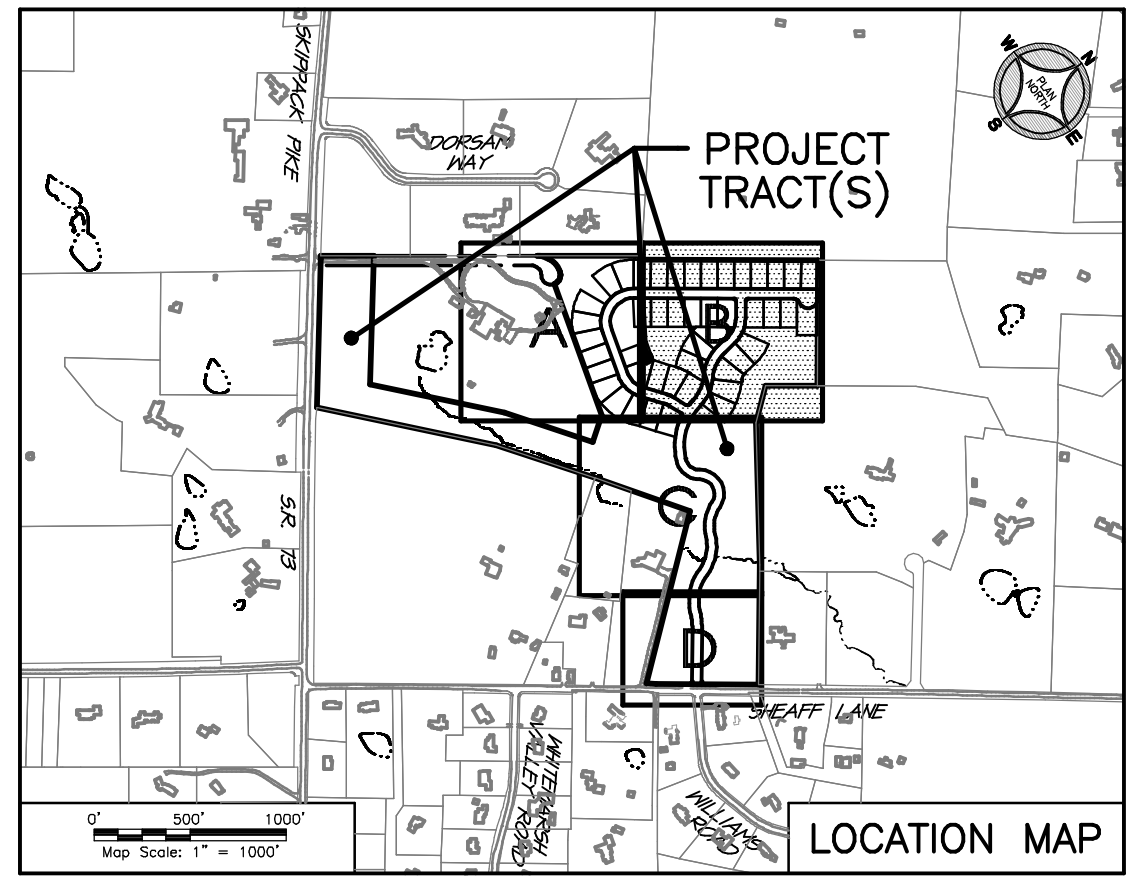
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NF Lands Of:
Fitzgibbon, Francis, Meehan & Krishan Bost
& Fitzgibbon, Francis, Meehan & Krishan Bost
65-00-10613-00-5
Block 44 Unit 3
7100 Duffer Pike

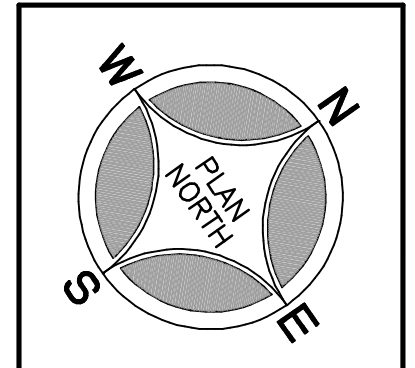
NF Lands Of:
Qualified Personal Residence Trust
65-00-10613-00-5
Block 44 Unit 1
7100 Sheaff Lane

PLAN LEGEND

- Tract Boundary Line
 - Existing Right-of-Way Line
 - Proposed Right-of-Way Centerline
 - Welland Area Limit
 - Waters w/Intermittent Wetlands
 - Existing Slopes (8-15%) (7.57 Ac.)
 - Existing Slopes (15-25%) (21.17 Ac.)
 - Existing Slopes (25%+) (0.57 Ac.)
- Slope areas calculated from Aerial Survey DTM Surface.
Steep Slope Ratio: 10.31 / 51.23 = 20.12%



| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 84
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

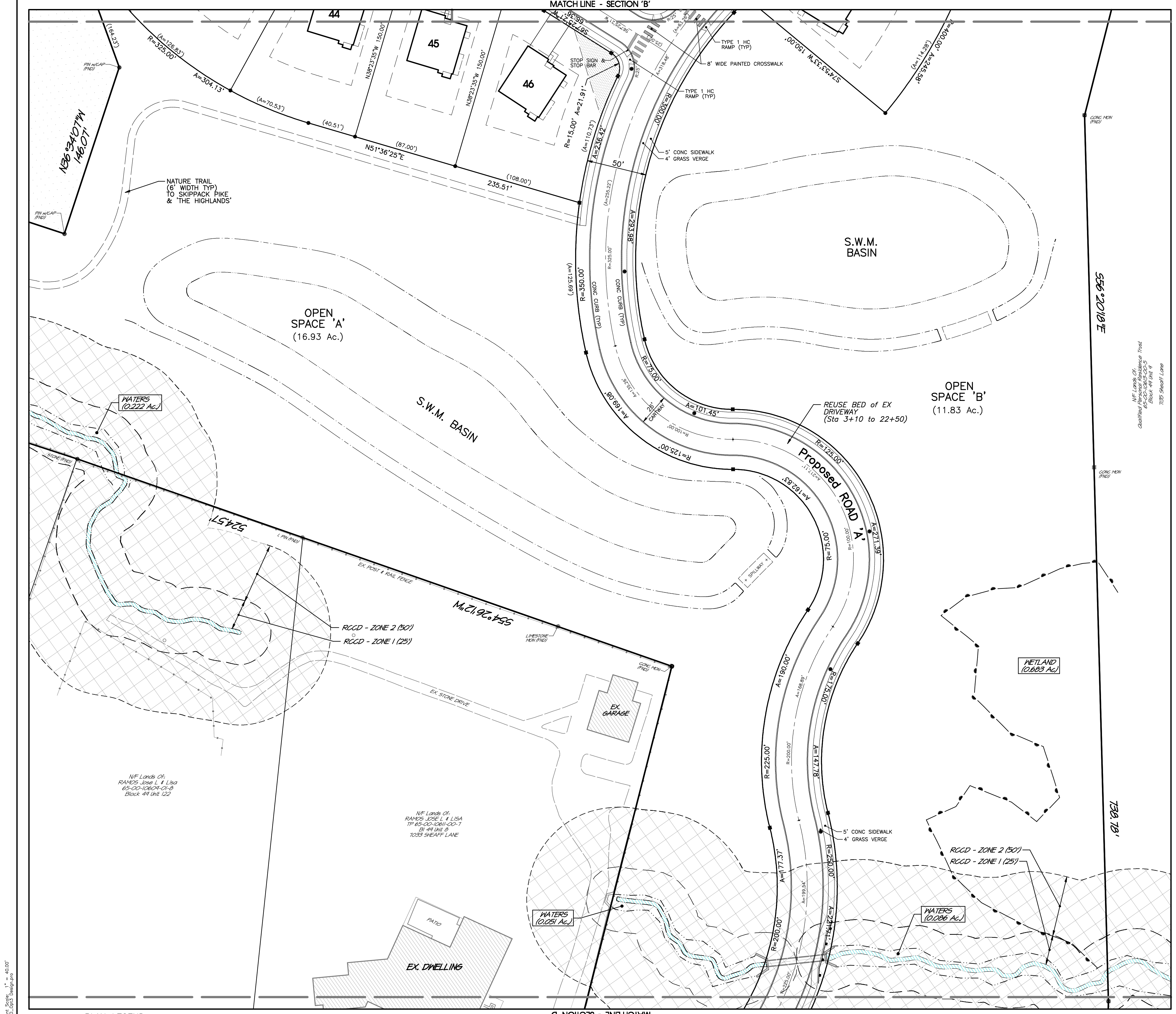
Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)
RECORD PLAN - Section 'B'
7111 SHEAFF LANE
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

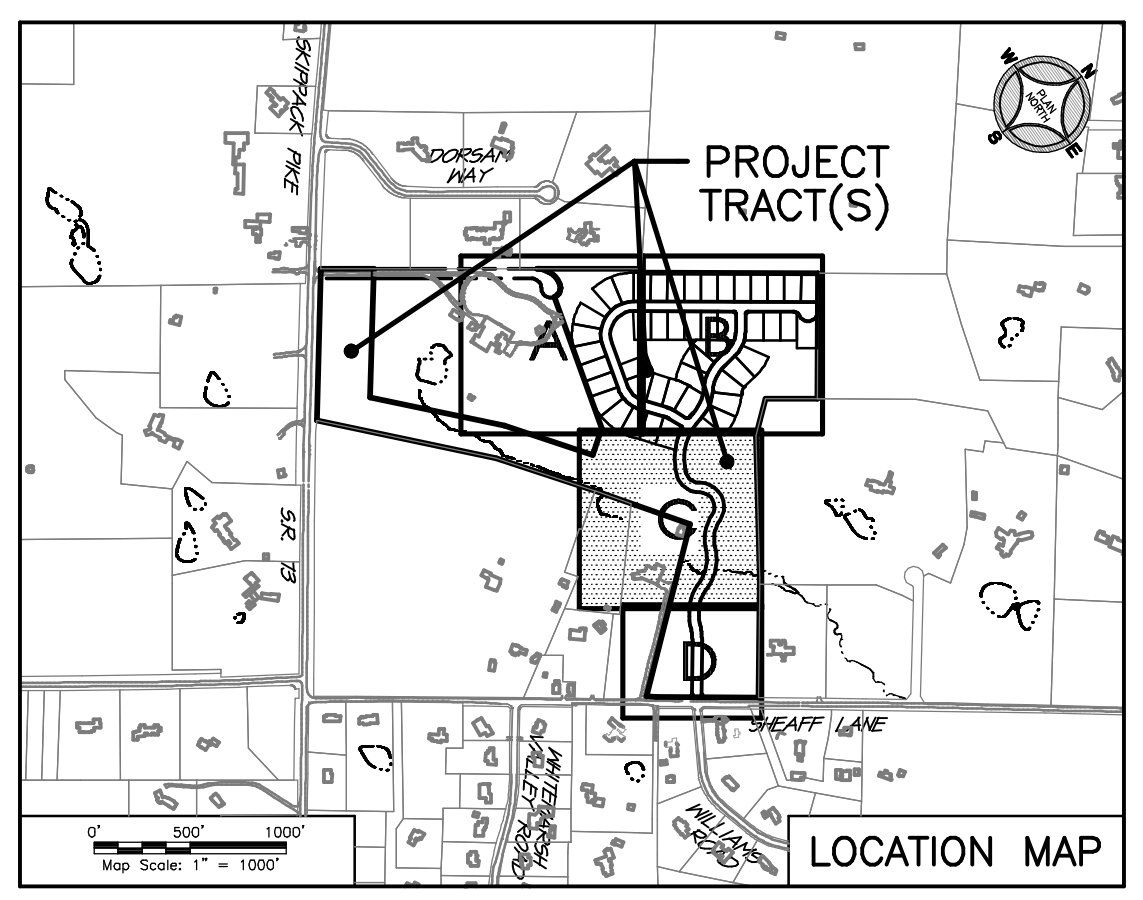
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Job No:
20-1013 D
Plan Date:
NOV. 17, 2021
Sheet No:



PLAN LEGEND

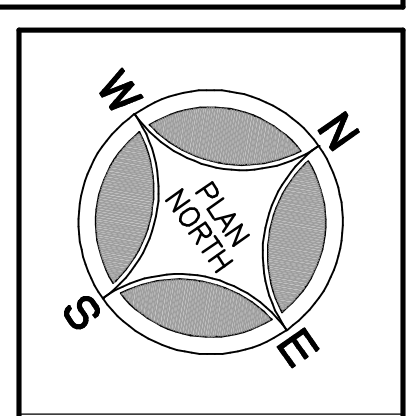
- Tract Boundary Line
- Existing Right-of-Way Line
- Existing Right-of-Way Centerline
- Wetland Area Limit
- Waters w/intermittent Wetlands
- Existing Slopes (8-15%) (7.57 Ac.)
- Existing Slopes (15-25%) (21.7 Ac.)
- Existing Slopes (25%+) (8.57 Ac.)

Slope areas calculated from Aerial Survey DTM Surface. Steep Slope Ratio: 10.31 / 51.23 = 20.12%



REVISIONS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

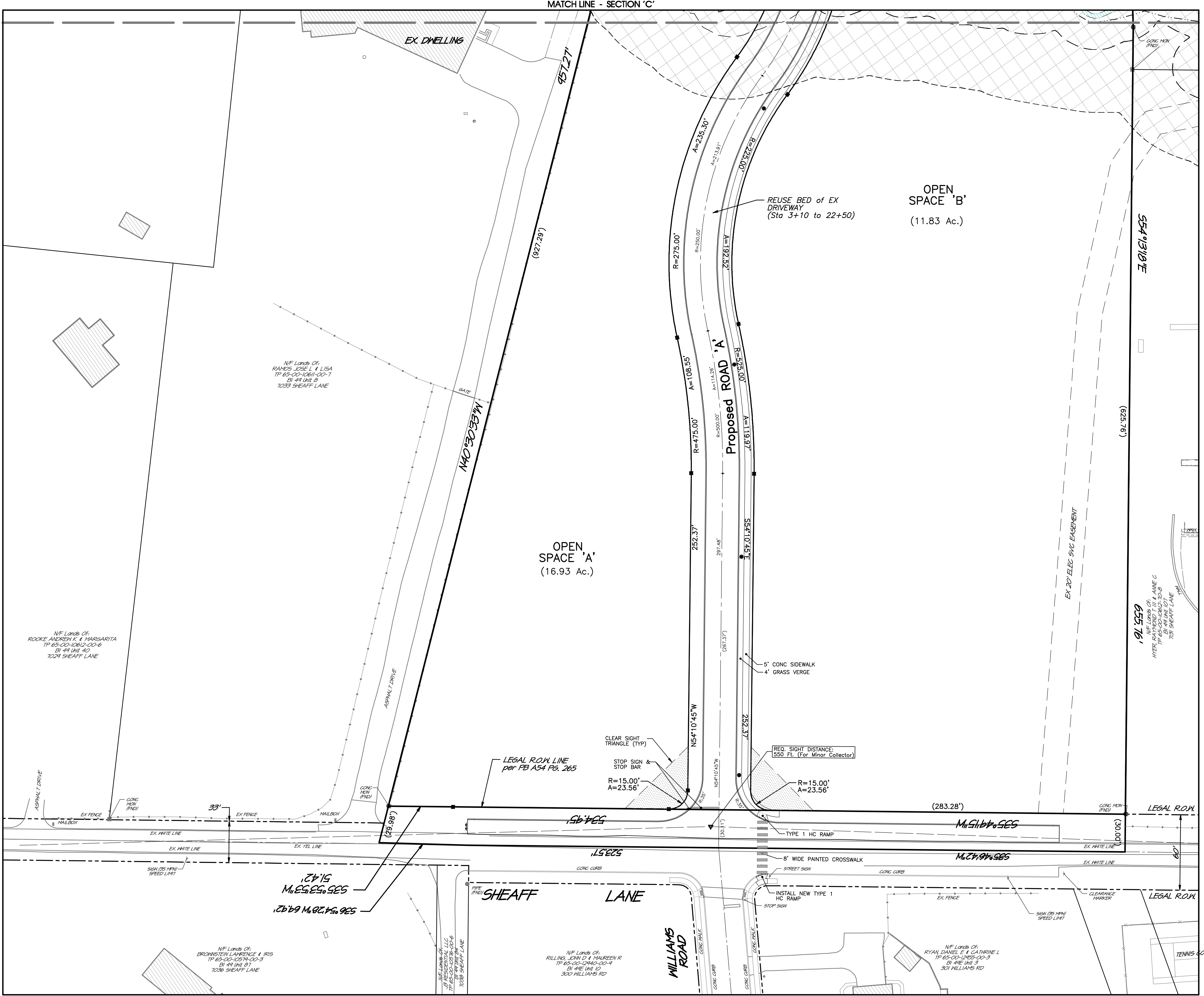
20' 0' 40'
Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)
RECORD PLAN - Section 'C'
7111 SHEAFF LANE
WHEATMARK TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 19002
Phone: (215) 542-2949 Web: www.woodrowinc.com

Layer List:
Sh04-07_Record
Job No:
20-1013 D
Plan Date:
NOV. 17, 2021
Sheet No:
6 of 38

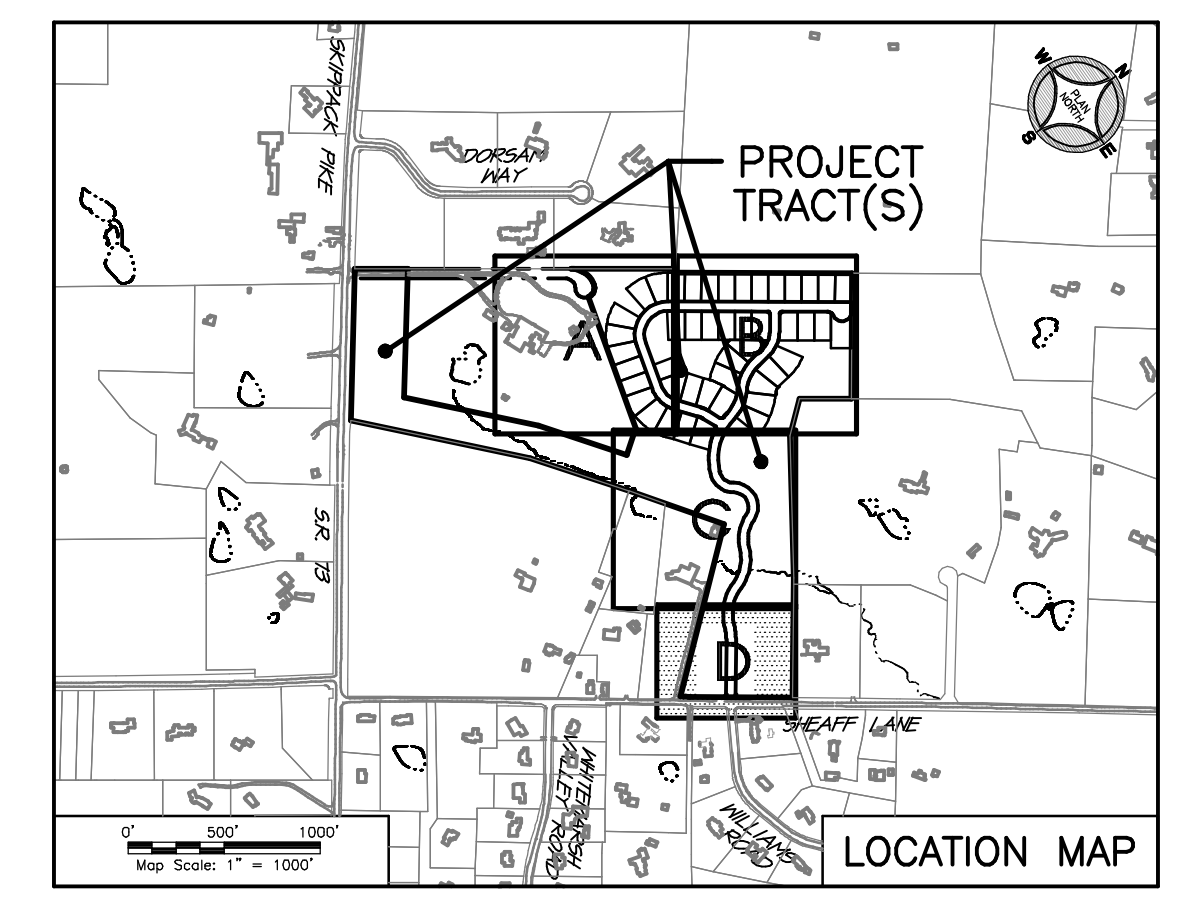
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PLAN LEGEND

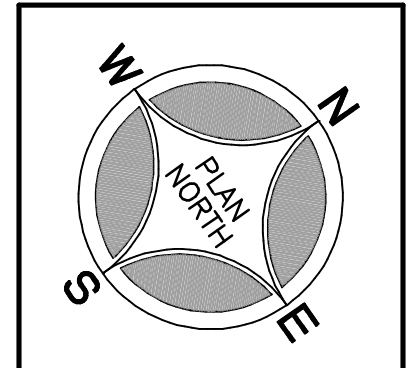
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|--|--|
| | Tract Boundary Line |
| | Existing Right-of-Way Line |
| | Existing Right-of-Way Centerline |
| | Wetland Area Limit |
| | Waters w/Intermittent Wetlands |
| | Existing Slopes (8-15%) (7.57 Ac.) |
| | Existing Slopes (15-25%) (2.17 Ac.) |
| | Existing Slopes (25%+) (0.57 Ac.) |

Slope areas calculated from Aerial Survey DTM Surface.
 Steep Slope Ratio: 10.31 / 51.23 = 20.12%



REVISIONS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
 2021 1120944
 April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
 TP: 65-00-10651-50-7
 Block 49, Unit 88
 7111 Sheaff Lane
 TP: 65-00-10611-50-2
 Block 49, Unit 84
 Sheaff Lane
 TP: 65-00-10612-60-9
 Block 49, Unit 106
 7129 Sheaff Lane

Deed Area: 51.6444 Ac.
 Private Lane: 0.3159 Ac.
 Util. RW: 0.4083 Ac.
 NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
 c/o Mr. Sal Poone, VP
 1120 N. Bethlehem Pike
 Spring House, PA 19477
 (215) 542-1331

Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)
RECORD PLAN - Section 'd'
7111 SHEAFF LANE
 WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gateway - c.o.
 Spring House, PA 19477
 Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List:
 Sh04-07_Record

Job No:
 20-1013 D

Plan Date:
 NOV. 17, 2021

Sheet No:
7 of 38

GENERAL PLAN NOTES

Refer to RECORD PLAN - COVER SHEET (Sheet 1) for all 'EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'.

CONSTRUCTION DESIGN NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
- Contractor to ensure compliance with ADA regulations.
- This project shall be served by public sanitary sewer by Whitmarsh Township Authority and water services by Ambler Borough Water Facilities. All utilities shall be installed underground.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved, in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- The proposed finished grading shown on this plan has been based on the proposed building(s) finished floor elevations and has been used to design the storm water management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Township and the Project design engineers.
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557. Moisture content at time of placement shall be no more than 2% above nor 3% below optimum. Contractor shall submit a compaction report prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
- Erosion control matting shall be provided on all earth slopes at 3:1 or greater.

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SEAL

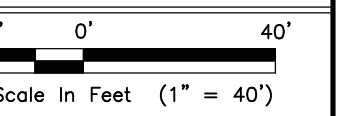
SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021



Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
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TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-50-9
Block 49, Unit 106
7129 Sheaff Lane
Deed Area: 51.6444 Ac.
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Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
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c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331



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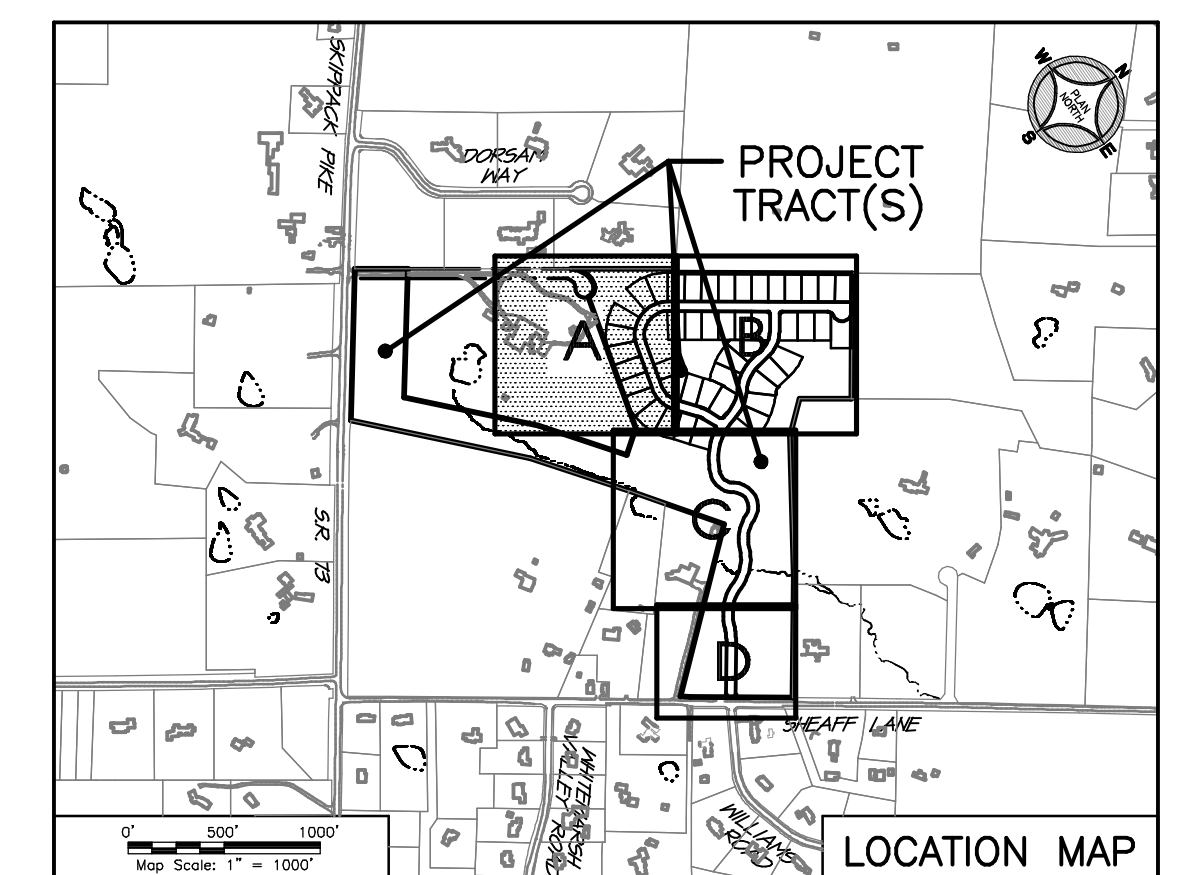
DEVELOPMENT PLAN - Section 'A'
7111 SHEAFF LANE
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List:
Sh08_Dev-A
Job No:
20-1013 D
Plan Date:
NOV. 17, 2021
Sheet No:



MATCH LINE - SECTION 'B'

MATCH LINE - SECTION 'C'



PLAN LEGEND

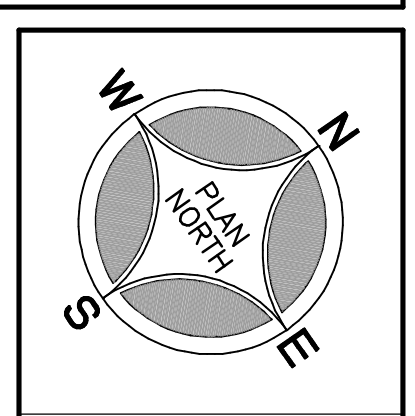
| | |
|--|---|
| | Tract Boundary Line |
| | Existing Right-of-Way Line |
| | Existing Right-of-Way Centerline |
| | Welland Area Limit |
| | Waters w/Intermittent Wetlands |
| | Existing Slopes (8-15%) (7.57 Ac.) |
| | Existing Slopes (15-25%) (21.17 Ac.) |
| | Existing Slopes (25%+) (0.57 Ac.) |

Slope areas calculated from Aerial Survey DTM Surface.
Slope Slope Ratio: 10.31 / 51.23 = 20.12%

Print Date: Nov 17, 2021 (11:28 AM) Plot From: Sheet 1 of 40.007
File Name: C:\2020\20-1013\20-1013-01-03-00-00-00.dwg



| NO. | DATE | DESCRIPTION |
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| | | |
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SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-1061-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-1061-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-1061-50-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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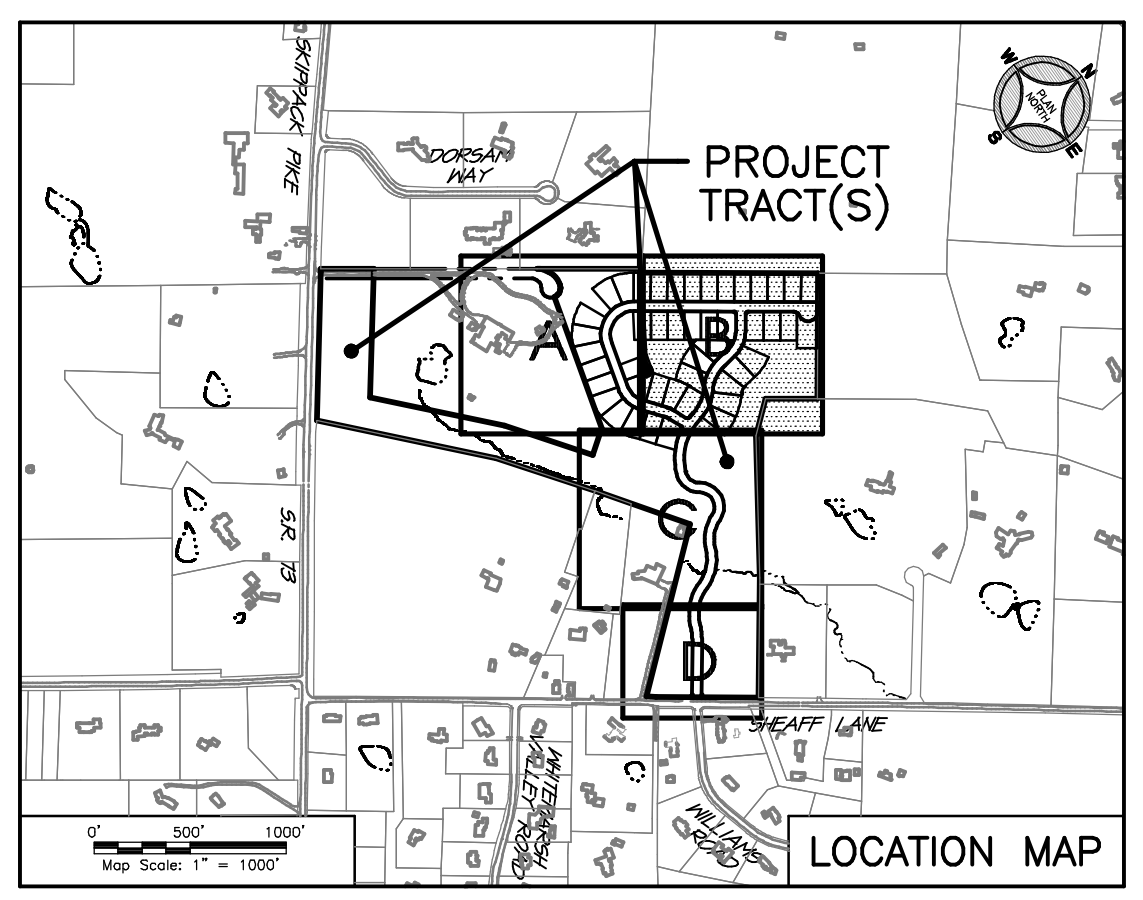
PRELIMINARY PLAN (Not To Be Recorded)
DEVELOPMENT PLAN - Section 'B'
7111 SHEAFF LANE
WHEATMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List:
Sh09_Dev-B

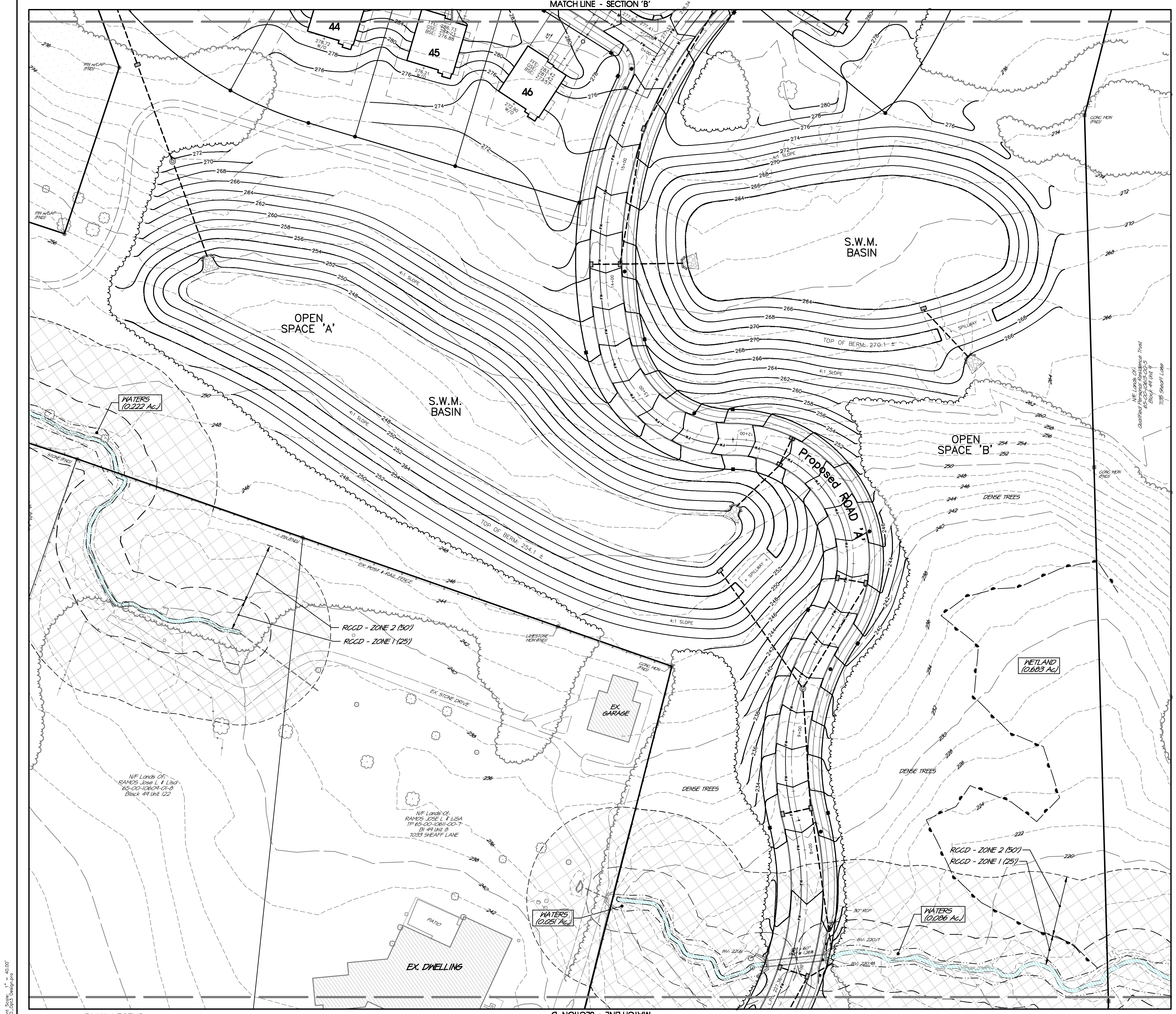
Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:



Print Date: Nov 17, 2021 (11:32 AM)
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Plot Name: 20-1013-01.dwg



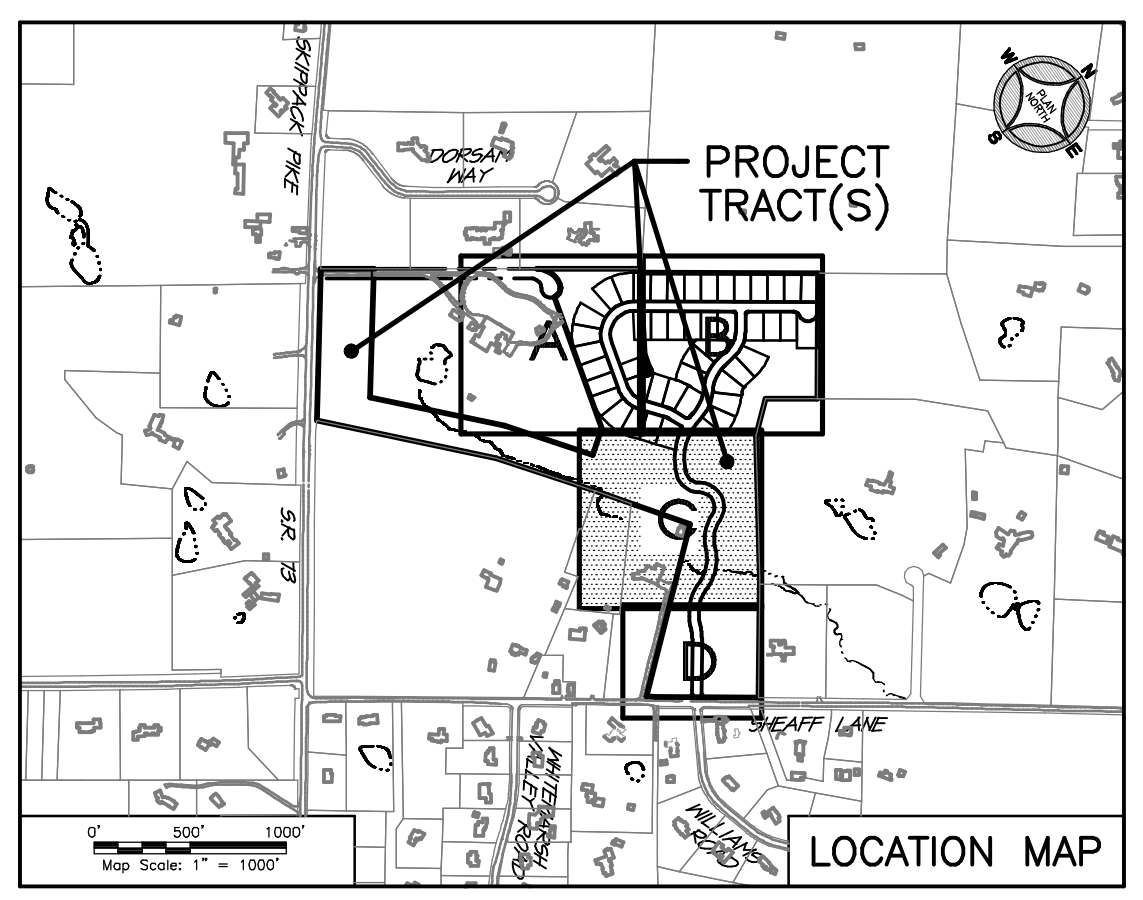
MATCH LINE - SECTION 'B'

MATCH LINE - SECTION 'C'

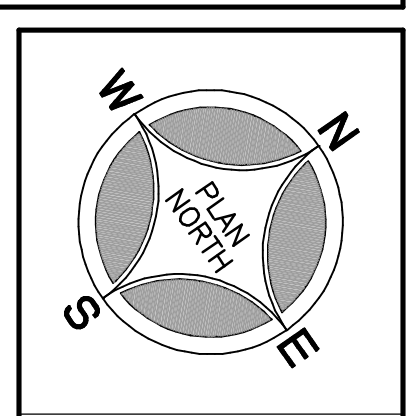
PLAN LEGEND

- Tract Boundary Line
- Existing Right-of-Way Line
- Existing Right-of-Way Centerline
- Wetland Area Limit
- Waters w/intermittent Wetlands
- Existing Slopes (8-15%) (7.57 Ac.)
- Existing Slopes (15-25%) (21.7 Ac.)
- Existing Slopes (25%+) (0.57 Ac.)

Slope areas calculated from Aerial Survey DTM Surface.
Steep Slope Ratio: 10.31 / 51.23 = 20.12%



| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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DEVELOPMENT PLAN - Section 'C'

7111 SHEAFF LANE
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List:
Sh10_Dev-C

Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:
10 of 38

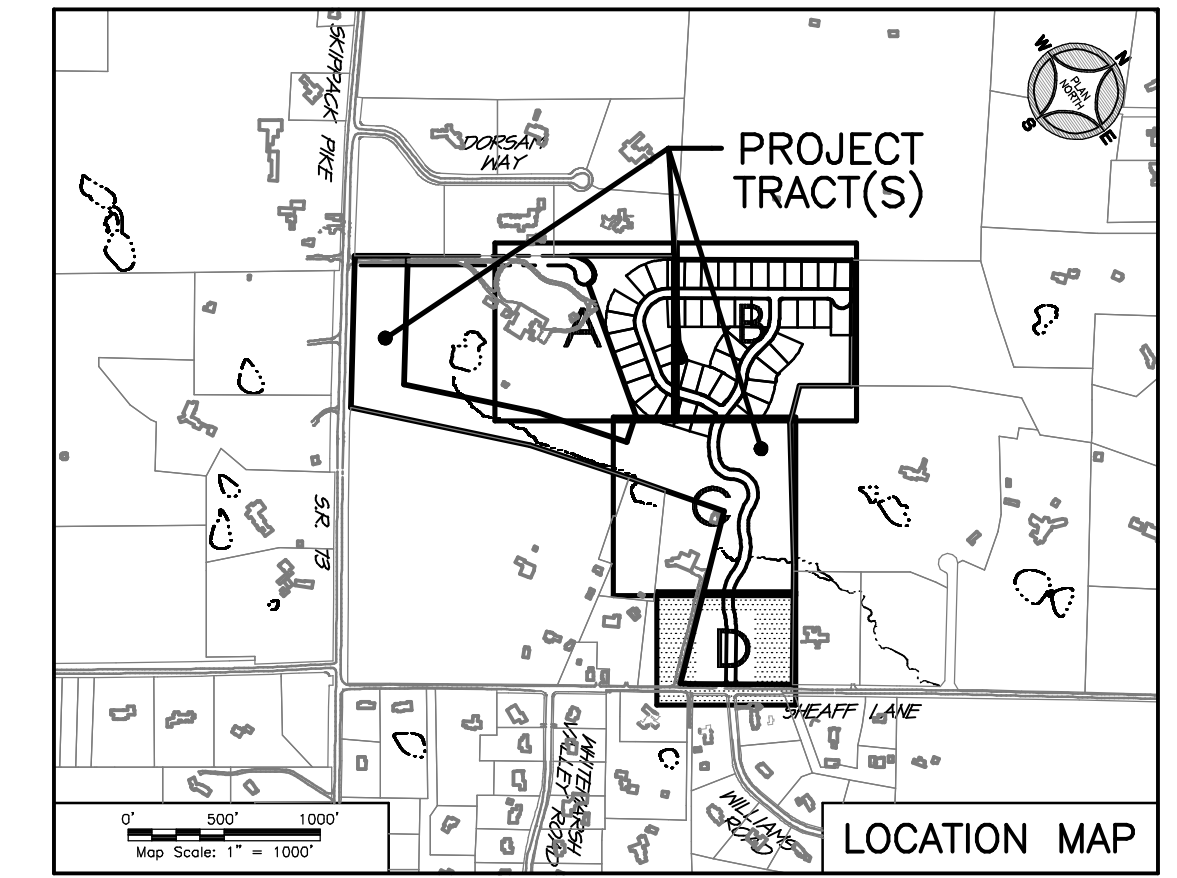
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PLAN LEGEND

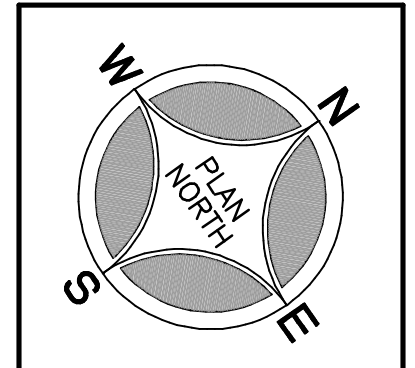
- Tract Boundary Line
- Existing Right-of-Way Line
- Existing Right-of-Way Centerline
- Welland Area Limit
- Waters w/Intermittent Wetlands
- Existing Slopes (8-15%) (7.57 Ac.)
- Existing Slopes (15-25%) (2.17 Ac.)
- Existing Slopes (25%+) (0.57 Ac.)

Slope areas calculated from Aerial Survey DTM Surface.
 Steep Slope Ratio: 10.31 / 51.23 = 20.12%



REVISIONS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
 Private Lane: 0.3159 Ac.
 Util. RW: 0.4083 Ac.
 NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

20' 0' 40'
Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)

DEVELOPMENT PLAN - Section 'D'

7111 SHEAFF LANE

WHEATMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS

1108 North Bethlehem Pike / Suite 5 - Lower Merion, PA 19002
Phone: (215) 542-3949 Web: www.woodrowinc.com

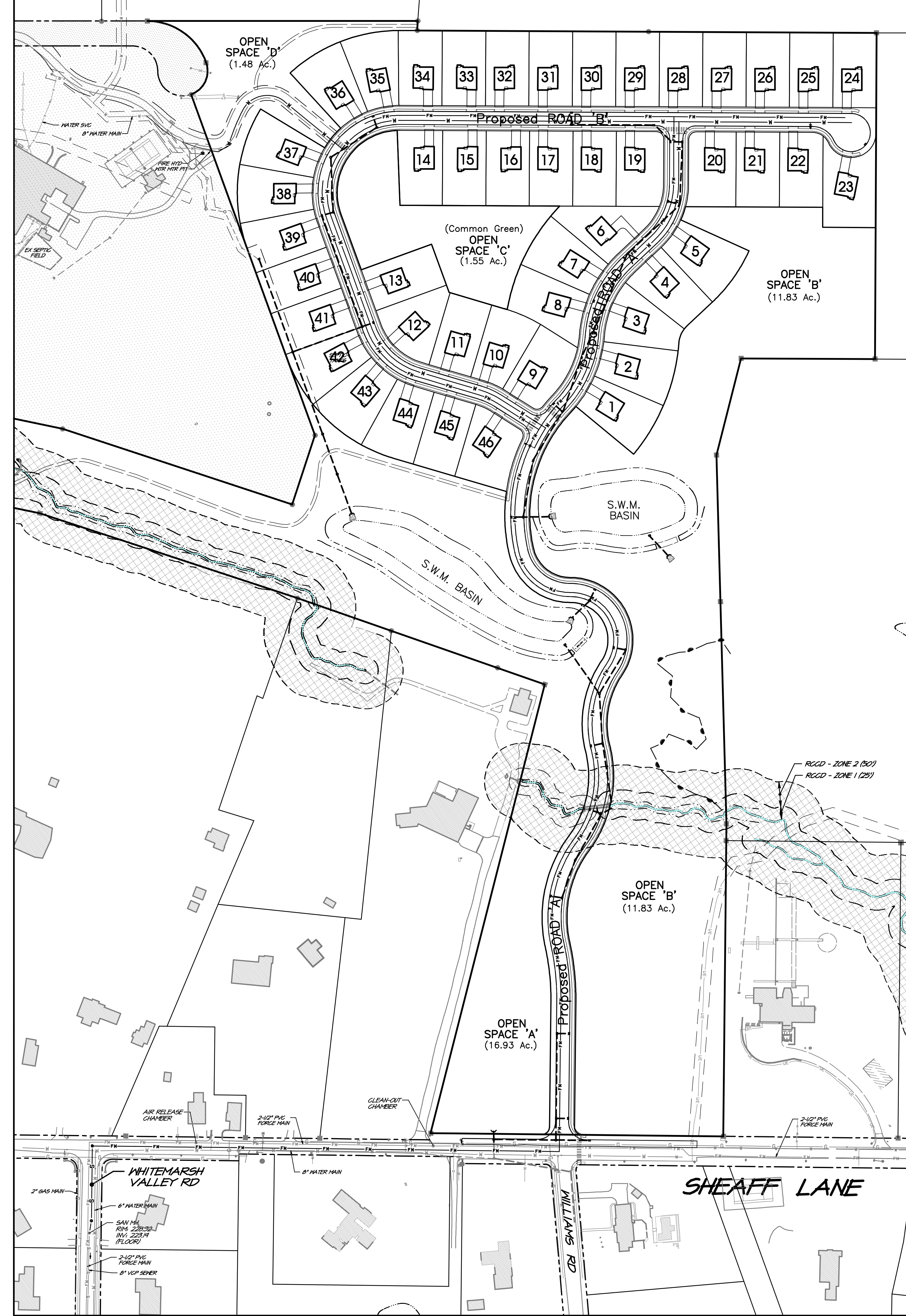
Layer List:
Sh11_Dev-D

Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:

Print Date: Nov 17, 2021 (12:28) Plot From: S:\2020\20-1013\20-1013.dwg Scale: 1" = 40.00'



STORMWATER STRUCTURE SCHEDULE

* Inlet tops to be stamped with MS4 Stamping. See detail on Sheet ___ (or approved equal).

| | | | |
|---|---|---|---|
| Structure ID: D01 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D17 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D33 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D49 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D02 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D18 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D34 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D50 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D03 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D19 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D35 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D51 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D04 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D20 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D36 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D52 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D05 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D21 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D37 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D53 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D06 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D22 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D38 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D54 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D07 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D23 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D39 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D55 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D08 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D24 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D40 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D56 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D09 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D25 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D41 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D57 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D10 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D26 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D42 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D58 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D11 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D27 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D43 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D59 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D12 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D28 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D44 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D60 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D13 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D29 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D45 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D61 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D14 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D30 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D46 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D62 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D15 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D31 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D47 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D63 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |
| Structure ID: D16 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D32 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D48 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) | Structure ID: D64 Loc: ROAD Type: STD INL w/C TOP Gr: (18" IN) Inv: (18" OUT) |

GENERAL PLAN NOTES

Refer to RECORD PLAN - COVER SHEET (Sheet 1) for all 'EXISTING FEATURES AND SURVEY NOTES' AND 'BASE DEVELOPMENT NOTES'.

SANITARY STRUCTURE SCHEDULE

| | | |
|--|--|---|
| Structure No: S-100 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-106 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-112 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) |
| Structure No: S-101 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-107 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-113 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) |
| Structure No: S-102 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-108 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-114 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) |
| Structure No: S-103 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-109 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-115 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) |
| Structure No: S-104 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-110 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-116 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) |
| Structure No: S-105 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-111 Type: Std San MH Loc: Road R: (Floor) Inv: (Floor) | Structure No: S-117 Type: Ex. San MH Loc: Connection Point R: (Ex.) Inv: (New In) Inv: (Ex. Floor) |

SANITARY PIPING SCHEDULE

| Pipe Run (Fr to To) | Length (FT) | Size (in.) | Material | Slope (%) |
|---------------------|-------------|------------|-----------|-----------|
| S-100 S-101 | --- | 8 | PVC SDR26 | --- |
| S-101 S-102 | --- | 8 | PVC SDR26 | --- |
| S-102 S-103 | --- | 8 | PVC SDR26 | --- |
| S-103 S-104 | --- | 8 | PVC SDR26 | --- |
| S-104 S-105 | --- | 8 | PVC SDR26 | --- |
| S-105 S-106 | --- | 8 | PVC SDR26 | --- |
| S-106 S-114 | --- | 8 | PVC SDR26 | --- |
| S-107 S-109 | --- | 8 | PVC SDR26 | --- |
| S-108 S-109 | --- | 8 | PVC SDR26 | --- |
| S-109 S-110 | --- | 8 | PVC SDR26 | --- |
| S-110 S-112 | --- | 8 | PVC SDR26 | --- |
| S-111 S-112 | --- | 8 | PVC SDR26 | --- |
| S-112 S-113 | --- | 8 | PVC SDR26 | --- |
| S-113 S-114 | --- | 8 | PVC SDR26 | --- |
| S-114 S-115 | --- | 8 | PVC SDR26 | --- |
| S-115 S-116 | --- | 8 | PVC SDR26 | --- |

STORMWATER PIPING SCHEDULE

| Pipe Run (Fr to To) | Length (FT) | Size (in.) | Material | Slope (%) |
|---------------------|-------------|------------|----------|-----------|
| D01 D02 | --- | 18 | HDPE | --- |
| D02 D04 | --- | 18 | HDPE | --- |
| D03 D04 | --- | 18 | HDPE | --- |
| D04 D06 | --- | 18 | HDPE | --- |
| D05 D06 | --- | 18 | HDPE | --- |
| D06 D15 | --- | 18 | HDPE | --- |
| D07 D08 | --- | 18 | HDPE | --- |
| D08 D10 | --- | 18 | HDPE | --- |
| D09 D10 | --- | 18 | HDPE | --- |
| D10 D12 | --- | 18 | HDPE | --- |
| D11 D12 | --- | 18 | HDPE | --- |
| D12 D13 | --- | 18 | HDPE | --- |
| D13 D14 | --- | 18 | HDPE | --- |
| D14 D15 | --- | 18 | HDPE | --- |
| D15 D16 | --- | 18 | HDPE | --- |
| D16 D17 | --- | 18 | HDPE | --- |
| D18 D19 | --- | 18 | HDPE | --- |
| D19 D20 | --- | 18 | HDPE | --- |
| D21 D22 | --- | 18 | HDPE | --- |
| D23 D24 | --- | 18 | HDPE | --- |
| D24 D25 | --- | 18 | HDPE | --- |
| D25 D26 | --- | 18 | HDPE | --- |
| D26 D27 | --- | 18 | HDPE | --- |
| D27 D28 | --- | 18 | HDPE | --- |
| D28 D33 | --- | 18 | HDPE | --- |
| D32 D33 | --- | 18 | HDPE | --- |
| D29 D30 | --- | 18 | HDPE | --- |
| D30 D31 | --- | 18 | HDPE | --- |
| D31 D33 | --- | 18 | HDPE | --- |
| D33 D35 | --- | 18 | HDPE | --- |
| D34 D35 | --- | 18 | HDPE | --- |
| D35 D39 | --- | 18 | HDPE | --- |
| D38 D39 | --- | 18 | HDPE | --- |
| D36 D37 | --- | 18 | HDPE | --- |
| D37 D39 | --- | 18 | HDPE | --- |
| D39 D40 | --- | 18 | HDPE | --- |
| D40 D41 | --- | 18 | HDPE | --- |
| D41 D42 | --- | 18 | HDPE | --- |
| D43 D44 | --- | 18 | HDPE | --- |
| D44 D45 | --- | 18 | HDPE | --- |
| D45 D47 | --- | 18 | HDPE | --- |
| D46 D47 | --- | 18 | HDPE | --- |
| D47 D48 | --- | 18 | HDPE | --- |
| D48 D49 | --- | 18 | HDPE | --- |
| D50 D56 | --- | 18 | HDPE | --- |
| D51 D52 | --- | 18 | HDPE | --- |
| D52 D53 | --- | 18 | HDPE | --- |
| D53 D54 | --- | 18 | HDPE | --- |
| D54 D55 | --- | 18 | HDPE | --- |
| D55 D56 | --- | 18 | HDPE | --- |
| D56 D57 | --- | 18 | HDPE | --- |
| D57 D58 | --- | 18 | HDPE | --- |
| D59 D60 | --- | 18 | HDPE | --- |
| D61 D62 | --- | 18 | HDPE | --- |
| D63 D64 | --- | 18 | HDPE | --- |

REVISIONS

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN: 2021 1120944
April 22, 2021

Pennsylvania 811

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-50-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 120')

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WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 500 - Lower Merion, PA 19002
Phone: (215) 542-3949 Web: www.woodrowinc.com

PRELIMINARY PLAN (Not To Be Recorded)

STRUCTURE SCHEDULES & NOTES

7111 SHEAFF LANE
WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

Layer List:
SH12_SCHEDULE

Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:
12 of 38

Print Date: Nov 17, 2021 (13:29)
File Name: 20200320-101301-01-01-01.dwg
File Number: 20200320-101301-01-01-01.dwg



GENERAL PLAN NOTES

- Refer to RECORD PLAN - COVER SHEET (Sheet 1) for all 'EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'.
- SITE LANDSCAPING NOTES:**
- All topsoil shall be a minimum 4" in all sod areas and 8" in tree, shrub and groundcover beds.
 - All landscape and grass areas are to be hand raked and left clear of all stones, rock, construction debris and any unsuitable materials.
 - Landscape contractor will locate all underground utilities prior to excavation for planting installations.
 - All areas to be landscaped or covered with stone must be treated with a pre-emergence herbicide (surflan, dactol or approved equal) in accordance with applicable federal, state regulations and the manufacturer's instructions.
 - All proposed landscaping to be nursery grown, typical of their species or variety. They are to have normal vigorous root systems, free from defects and infections and in accordance with ANSI Z60.1.
 - All proposed plantings should be installed per standards of the "American Association of Nurserymen" with regard to planting, pit size, backfill mixture, staking & guying.
 - All planting containers and baskets shall be removed during planting. All plants shall be set plumb and positioned so that the top of the root collar matches, or is no more than 2" in. above, finished grade. Replace amended backfill in 6-inch layers and compact backfill to eliminate voids. Contractor shall provide a four-inch high earthen watering saucer along the perimeter of each planting pit. Contractor shall water newly planted vegetation prior to mulching planting pit. All voids shall be filled and settling mitigated as required.
 - After initial watering and prior to mulching, contractor shall apply herbicides and pre-emergent herbicides as required to eliminate any weed seeds or plants present on root ball.
 - All planting beds and pits shall be mulched with double ground hardwood mulch at a min depth of 3".
 - Seedbed Preparation:
 - Apply limestone and fertilizer according to soil tests or fertilizer may be applied at the rate of 260 lbs. per acre or 6 lbs. per 1000 Sq. Ft. using 10-20-10 or equivalent. In addition, 300 lbs. 4-1-2 per acre or equivalent of slow release nitrogen may be used in lieu of topdressing.
 - Work lime and fertilizer into the soil as practical to a depth of 4-inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing or disk operation should be parallel to the general contour. Continue tillage until a reasonable uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
 - Inspect seedbed just before seeding. If traffic has left the topsoil compacted, the area must be rolled and firmed as outlined below.
 - Gross seeding mixture and application rate:

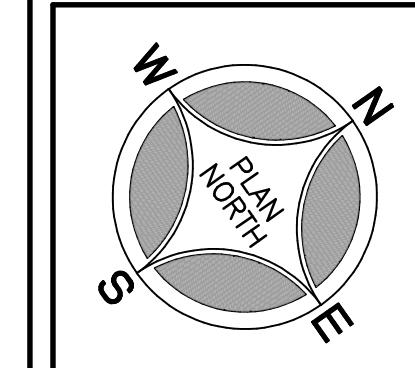
| Percentage of total weight | Application Rate | Seed Type | Minimum Germination Allowed |
|----------------------------|----------------------|-------------------------------|-----------------------------|
| 60 % | 5-7 lbs/1000 Sq. Ft. | "REBEL" Tall Fescue | 90-97 |
| 35 % | | "YORKTOWN" Perennial Ryegrass | 90-98 |
| 5 % | | "STRECKER" Redtop | 90-92 |
 - In areas designated as sod, fescue sod is to be installed on minimum 4" topsoil. Areas to be sodded are to be prepared as noted above for seeded areas.
 - Plant material shall be guaranteed for 18 months from the date of substantial completeness. The contractor shall replace plants, dead, unhealthy, dying or damaged through loss of branches and/or foliage. Plants that are not in good condition at the end of the guarantee period shall be repaired until a good lawn results.

LANDSCAPING REQUIREMENTS

| ITEM | REQUIREMENT | PROVIDED |
|---|---|---|
| SALDO Section 105-48 Street Trees | Shade street trees shall be planted at intervals of not more than 45 feet PROPOSED ROAD 'A': 6750'-660'(exist. trees) = 6090' 6090/45 = 136 trees PROPOSED ROAD 'B': 4450' 4450/45 = 99 trees SKIPPACK PIKE: 791'-16'(driveway)=775' 775/45 = 18 trees SHEAFF LANE: 535'-50'(row)=485' 485/45 = 11 trees | 104 Shade Trees [1] 76 Shade Trees Satisfied by preserved existing shade trees 11 Shade Trees |
| SALDO Section 105-48.1 Landscaping & Screening in Conservation Overlay District | In residential subdivisions containing avg. lot sizes of one acre or less, per 1,000 sq ft of gross bldg. area the following is required: 1 deciduous tree, 1 evergreen tree, 2 decid. shrubs, 2 evergreen shrubs 1790 sq footprint x2 x46 lots = 164,680 sq ft 165 deciduous trees 165 evergreen trees 330 deciduous shrubs 330 evergreen shrubs | (PER EACH LOT) 165 Deciduous Trees 165 Evergreen Trees 330 Deciduous Shrubs 330 Evergreen Shrubs |
| SALDO Section 105-52 Buffer Yards | Type A Buffer required along Sheaff Lane (Minor Collector) Class A (Option 1) Buffer: 1 Canopy Tree per 40' 1 Flowering Tree per 60' 1 Evergreen Tree per 60' Sheaff Lane: 535'-50'(row)=485' 485/40 = 13 Canopy Trees 485/60 = 9 Flowering Trees 535/60 = 14 Evergreen Trees 36 Total Trees Type B Buffer required along Skippack Pike (Arterial Rd.) Class B (Option 2) Buffer: 1 Evergreen Tree per 15' 4' High Form Skippack Pike: 791'-16'(driveway)=775' 775/15 = 51 Evergreen Trees | 12 Evergreen Trees 24 Tree Credits [2] No development proposed along roadway existing berm along roadway Existing trees |
| Chapter 55 Tree Protection Standards | Every tree determined to be living and healthy, with a DBH of six inches or greater that is removed or destroyed, shall be replaced with one or more new shade trees, min. 3" caliper. Total caliper of replacement trees shall equal or exceed the DBH of the tree(s) removed. | Caliper inches required for replacement to be verified. Plantings to be satisfied through reforestation in Open Space areas A, B, and C. |
| Planting Total: | 191 Shade Trees 12 Evergreen Trees | NOT IN OVERALL PLANT SCHEDULE 165 Shade Trees 165 Evergreen Trees 330 Deciduous Shrubs 330 Evergreen Shrubs |

[1] WAIVER requested, Refer to Record Plan waiver request #13.
[2] Tree Preservation Credits calculated per Schedule below.

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Pennsylvania 811

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 84
Sheaff Lane
TP: 65-00-10612-50-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale: 1" = 40'

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1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 19002
Phone: (215) 542-2646 Web: www.woodrowinc.com

LANDSCAPE PLAN - Section 'A'

PRELIMINARY PLAN (Not To Be Recorded)

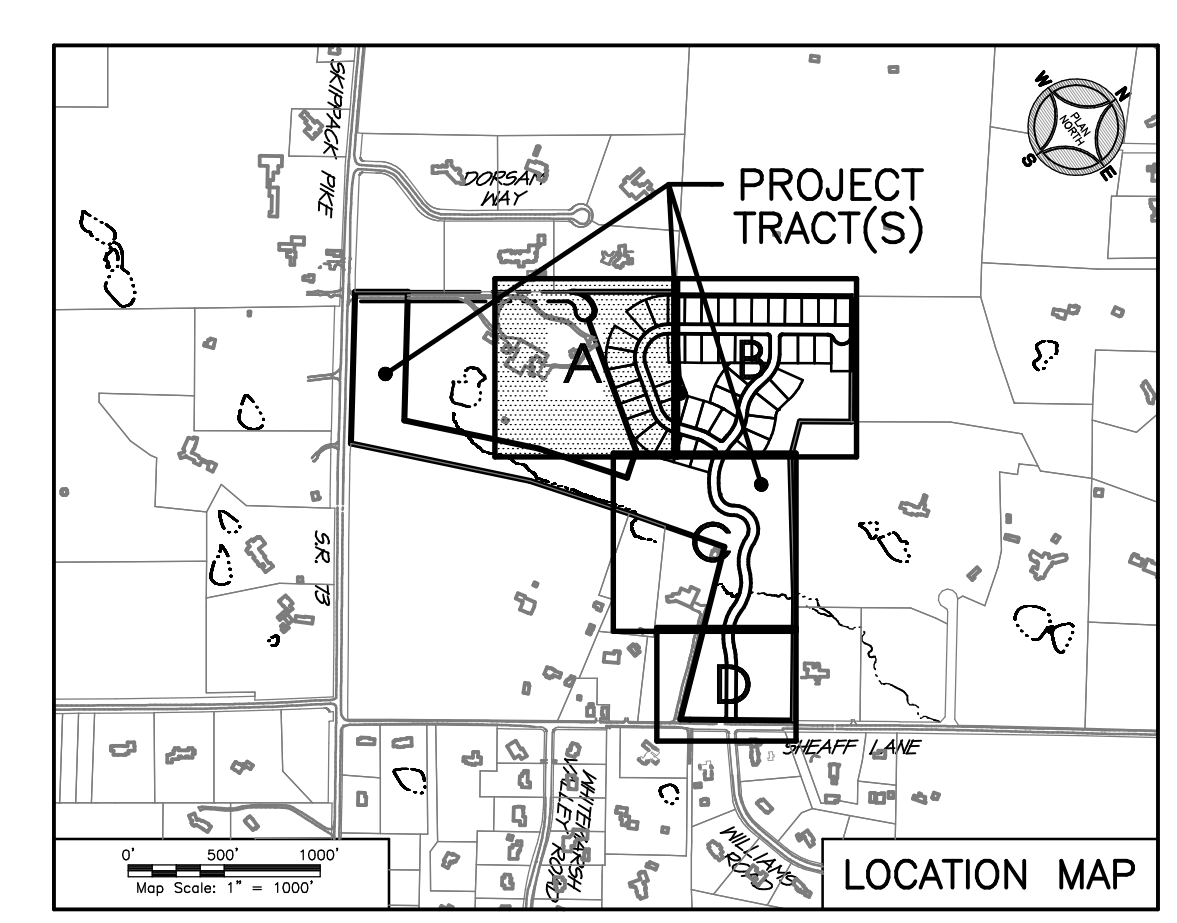
7111 SHEAFF LANE
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

Layer List:
Sh13-16_Land

Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:
13 of 38



Refer to Plan Sheet 14 for all PLANT SCHEDULES.
Refer to Plan Sheet 15 for LIGHTING SCHEDULE.

PLAN LEGEND

- Tract Boundary Line
- Existing Right-of-Way Line
- Existing Right-of-Way Centerline
- Wetland Area Limit
- Waters w/Intermittent Wetlands
- Existing Slopes (0-15%) (7.5' Ac.)
- Existing Slopes (15-25%) (21.7' Ac.)
- Existing Slopes (25%+) (10.57' Ac.)

Slope areas calculated from Aerial Survey DTM Surface.
Steep Slope Ratio: 10.31 / 51.23 = 20.12%

TREE PRESERVATION CREDITS [3]

(towards Class A buffer along SHEAFF LANE, trees included within 50' of right-of-way)

| Diameter (Inches) of Preserved Trees | # of Tree Credits per Tree Preserved | # of Trees Preserved | # of Tree Credits |
|--------------------------------------|--------------------------------------|----------------------|-------------------|
| 30+ | 8 | 0 | 0 |
| 18-29 | 6 | 2 | 12 |
| 12-17 | 4 | 2 | 8 |
| 6-11 | 2 | 2 | 4 |

TOTAL # OF TREE CREDITS = 24

Plan Date: Nov. 22, 2021 (18:42)
File Name: 20201030-193530-1030-2021.dwg
Plot Scale: 1" = 40.00'



OVERALL PLANTING SCHEDULE

| Plan Symbol | Quantity | Botanical Name | Common Name | Minimum Planting Caliper | Planting Spread | Minimum Planting Height | Remarks |
|---------------------------------|----------|---------------------------------|------------------------------|--------------------------|-----------------|-------------------------|---------|
| AR | 29 | Acer rubrum 'October Glory' | 'October Glory' Red Maple | 3" | 5'-6" | 12'-14' | B&B |
| PX | 38 | Platanus acerifolia 'Bloodgood' | 'Bloodgood' London Planetree | 3" | 5'-6" | 12'-14' | B&B |
| QR | 25 | Quercus rubra | Red Oak | 3" | 5'-6" | 12'-14' | B&B |
| OS | 32 | Quercus shumardii | Shumard Oak | 3" | 5'-6" | 12'-14' | B&B |
| TA | 38 | Tilia americana 'Redmond' | American Linden 'Redmond' | 3" | 5'-6" | 12'-14' | B&B |
| UA | 29 | Ulmus americana 'Valley Forge' | 'Valley Forge' American Elm | 3" | 5'-6" | 12'-14' | B&B |
| 191 TOTAL SHADE TREES | | | | | | | |
| CJ | 6 | Cryptomeria japonica | Norway Spruce | - | 4'-5" | 8'-10" | B&B |
| PA | 6 | Picea abies | Norway Spruce | - | 4'-5" | 8'-10" | B&B |
| 12 TOTAL EVERGREEN TREES | | | | | | | |

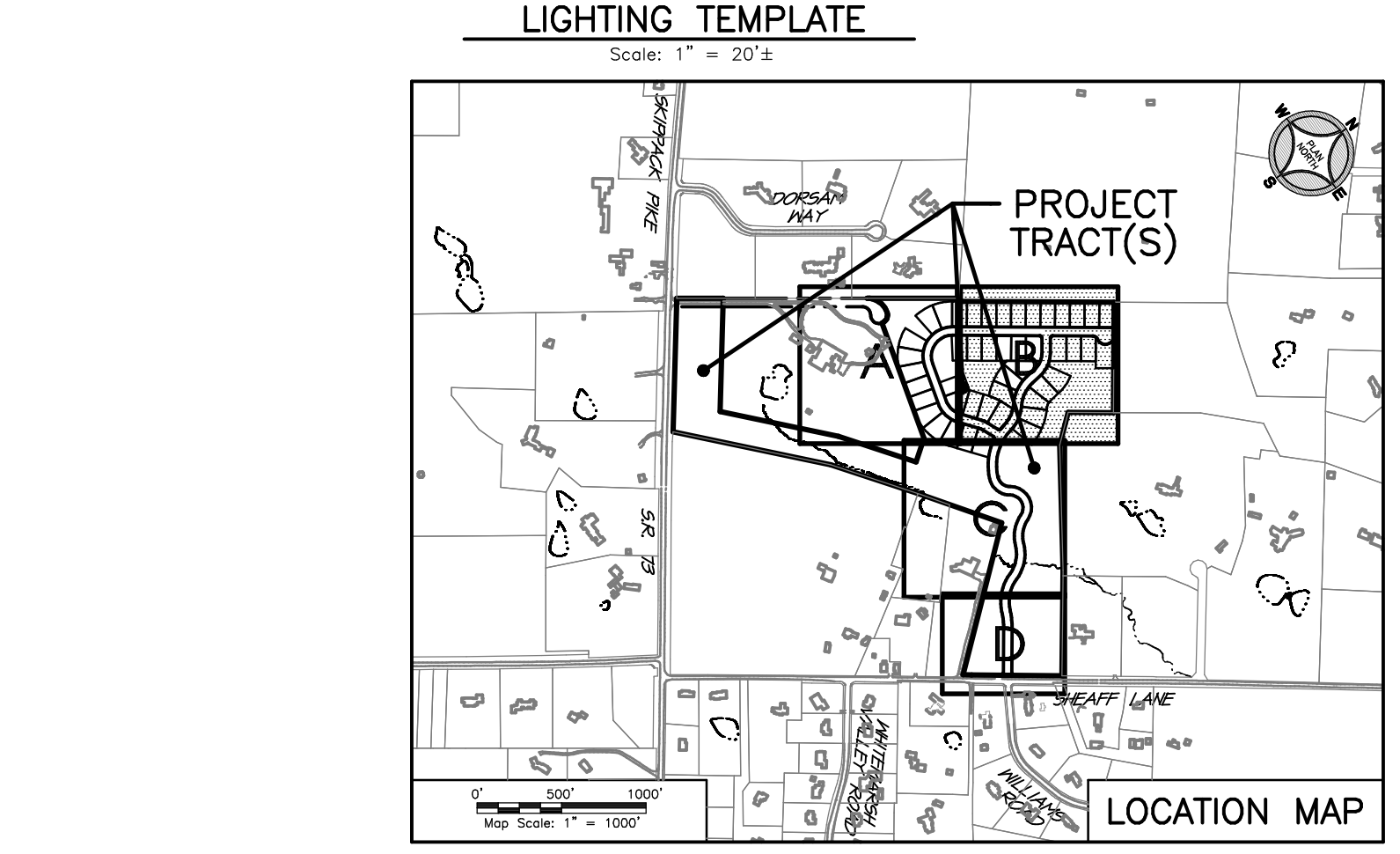
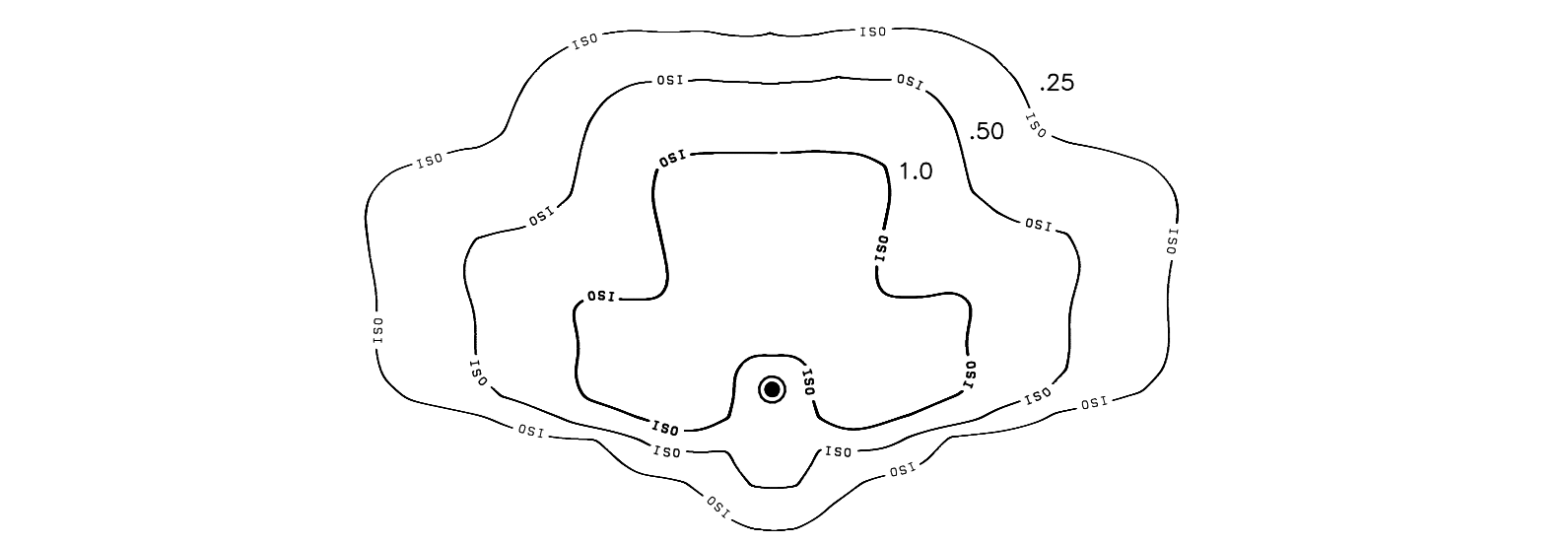
ON-LOT LANDSCAPING PLANTING SCHEDULE

| Plan Symbol | Quantity | Botanical Name | Common Name | Minimum Planting Caliper | Planting Spread | Minimum Planting Height | Remarks |
|----------------------------------|----------|--|---------------------------|--------------------------|-----------------|-------------------------|--|
| AR | 33 | Acer rubrum 'October Glory' | 'October Glory' Red Maple | 3" | 5'-6" | 12'-14' | B&B |
| LS | 33 | Liquidambar styraciflua 'Rotundiloba' | 'Rotundiloba' Sweetgum | 3" | 5'-6" | 12'-14' | B&B |
| LT | 33 | Liriodendron tulipifera | Tulip Tree | 3" | 5'-6" | 12'-14' | B&B |
| NS | 33 | Nyssa sylvatica | Blackgum | 3" | 5'-6" | 12'-14' | B&B |
| OB | 33 | Quercus bicolor | Swamp White Oak | 3" | 5'-6" | 12'-14' | B&B |
| 165 TOTAL SHADE TREES | | | | | | | |
| JV | 40 | Juniperus virginiana | Eastern Red Cedar | - | 3'-4" | 6'-8" | B&B |
| PA | 42 | Picea abies | Norway Spruce | - | 3'-4" | 6'-8" | B&B |
| PM | 42 | Pseudotsuga menziesii | Douglas Fir | - | 3'-4" | 6'-8" | B&B |
| PP | 41 | Picea pungens | Blue Spruce | - | 3'-4" | 6'-8" | B&B |
| 165 TOTAL EVERGREEN TREES | | | | | | | |
| BG | 94 | Buxus 'Green Velvet' | 'Green Velvet' Boxwood | - | - | 24-30" | Container; plant in continuous mulched bed |
| CA | 71 | Caryopteris x clandonensis 'Dark Knight' | Dark Knight Caryopteris | - | - | 24-30" | |
| EC | 94 | Erica carnea | Winter Heath | - | - | 24-30" | |
| IG | 94 | Ilex glabra 'Compacta' | Compact Inkberry | - | - | 24-30" | |
| IM | 94 | Ilex x meserveae 'Mannieves' | Scollay Holly | - | - | 24-30" | |
| PO | 71 | Physocarpus opulifolius 'Little Devil' | 'Little Devil' Ninebark | - | - | 24-30" | |
| RR | 71 | Rosa x 'Radcon' | Radcon Knock-out Rose | - | - | 24-30" | |
| SB | 71 | Spiraea x bumalda 'Goldflame' | Goldflame Spirea | - | - | 24-30" | |
| 660 TOTAL SHRUBS | | | | | | | |

THESE PLANTS ARE NOT SHOWN ON LANDSCAPE PLAN. EACH LOT IS TO GET 14-15 SHRUBS FOR A TOTAL OF 660 SHRUBS.

STORMWATER MANAGEMENT BASIN SEEDING

| STORMWATER MANAGEMENT BASIN SIDE SLOPES | STORMWATER MANAGEMENT BASIN FLOOR AREAS |
|---|--|
| SEED IN ERNST MIX (ERNST-183), NATIVE DETENTION AREA MIX SEEDING RATE IS 20 LBS. PER ACRE BASIC FLOOR AREA = 49,200 SF (0.185/43950) x 20 = 34 LBS. ERNAX-183 UTILIZE COVER CRIP FOR ESTABLISHMENT SEPT 1 - APRIL 30; GRASS RYE (30 LBS. PER ACRE) MAY 1 - AUG 31; JAPANESE MILLET (10 LBS. PER ACRE) | SEED IN ERNST MIX (ERNST-183), RAIN GARDEN MIX SEEDING RATE IS 30 LBS. PER ACRE BASIC FLOOR AREA = 49,200 SF (49200/43950) x 30 = 23 LBS. ERNAX-183 UTILIZE COVER CRIP FOR ESTABLISHMENT GRASS RYE (30 LBS. PER ACRE) |



PLAN LEGEND

- Tract Boundary Line
- Existing Right-of-Way Line
- Existing Right-of-Way Centerline
- Wetland Area Limit
- Waters/Wintermittent Wetlands
- Existing Slopes (8-15%) (7.57 Ac.)
- Existing Slopes (15-25%) (27.17 Ac.)
- Existing Slopes (25%+) (0.57 Ac.)

Slope areas calculated from Aerial Survey DTM Surface.
Steep Slope Ratio: 10.31 / 51.23 = 20.12%

REVISIONS

SEAL

SEAL

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2021 1120944
April 22, 2021

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7111 Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
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c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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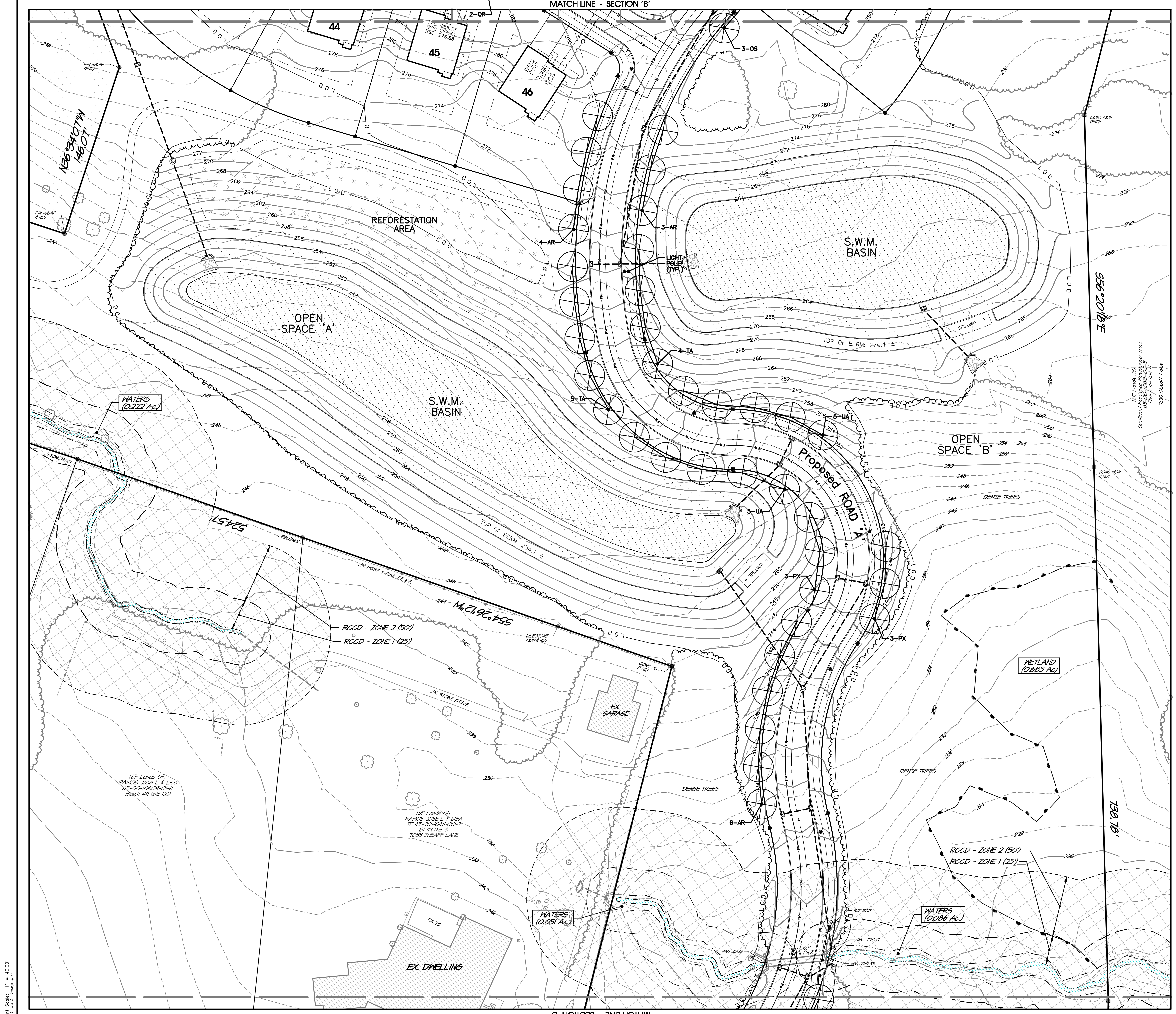
PRELIMINARY PLAN (Not To Be Recorded)
LANDSCAPE PLAN - Section 'B'
WHITEHARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List:
Sh13-16_Land

Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:
14 of 38



PLAN LEGEND

- Tract Boundary Line
- Existing Right-of-Way Line
- Existing Right-of-Way Centerline
- Wetland Area Limit
- Waters w/Intermittent Wetlands
- Existing Slopes (8-15%) (7.57 Ac.)
- Existing Slopes (15-25%) (21.7 Ac.)
- Existing Slopes (25%+) (0.57 Ac.)

Slope areas calculated from Aerial Survey DTM Surface.
Steep Slope Ratio: 10.31 / 51.23 = 20.12%

American Revolution Full Cutoff LED Series 247CL

PRODUCT OVERVIEW

Features:

- Colorful LED lantern, replaces HID models up to 150W HPS for street and area lighting applications
- Ten (10) LED performance packages deliver just the right amount of light for any given application up to 1800 lumens
- Available in color temperature choices of 2700K, 3000K, 4000K, and 5000K
- Four (4) distinct light distribution options provide design flexibility, available in Type III, Type III, Type IV, and Type V
- Die-cast aluminum housing, engineered for sturdy lighting performance
- Die-cast aluminum hood features a trigger latch (TL) option and captive thumb screws for fast, easy electrical and optical chamber access
- Housing is tenon pole mounted and designed for use with a 2" tall by 2-3/8" to 2" diameter tenon, and secured by three set screws
- Rated L70, LED life greater than 100,000 hours at 25°C
- Complies with all applicable ANSI C136 standards
- CSA listed and suitable for up to 40° C ambient
- Surge protection device (standard) exceeds ANSI/IEEE C82.41-2002 Category C High (10kV/10kA) and ANSI C136.2018 Extreme (20kV/10kA)
- 200V Option exceeds ANSI/IEEE C82.41-2002 Category C High (10kV/10kA) and ANSI C136.2018 Extreme (20kV/10kA)
- Equipped with LED electronics @ 10V dimmable driver

Applications:

- Streets
- Walkways
- Pathways
- Parks

LE, SFI, GreenSource

DIMENSIONS

Notes: Specifications subject to change without notice. American Revolution Series 247CL LED

American Revolution LED Series 247CL

ORDERING INFORMATION

Example: 247CL P30 AS 40K R3

| Series | Performance Package | Voltage | Color Temperature (CCT) |
|-------------------------------|---------------------|--------------|-------------------------|
| 247CL American Revolution LED | AS 150-277V | AS 150-277V | 27K 2700K |
| | P30 12 1,400 | AM 347V-480V | 30K 3000K |
| | P15 18 2,100 | | 40K 4000K |
| | P30 21 2,400 | | 50K 5000K |
| | P30 33 3,700 | | |
| | P30 40 4,000 | | |
| | P35 33 3,800 | | |
| | P40 39 4,600 | | |
| | P45 46 5,100 | | |
| | P50 64 6,800 | | |
| | P55 77 7,400 | | |

Distribution: R3 Type III, R4 Type IV, R5 Type V

Options: Black standard, smooth / glass; Grey, smooth / glass; Dark Bronze, smooth / glass; White, smooth / glass; Bronze, smooth / glass

Controls: 3 pin NEMA photocell (standard); No photocell (optional); 7 pin NEMA photocell; Solid State Long Life Photocell, 120-277V; Solid State Long Life Photocell, 347V; Solid State Long Life Photocell, 480V; Solid state photocell, 120-277V (NEMA C-10); Field adjustable output module; DALI (DALI driver optional request); Phot night dimming; Shunting up; Shunting up (not CSA listed)

Miscellaneous: Stainless steel hardware; 1/2" Spacers; 1" x 1" NEMA Label; 2" x 1" NEMA Label; No CSA Label; LMB Ladder Rail; RMC™ RMC Cap; CK Cover The Cool Fresh 200V/10kA surge protection device; Factory preprogrammable driver

House Side Shields: HSS House Side Shield

Finished Inlets: L10 1/2" prewire leads; L10 3/4" prewire leads; L10 1" prewire leads; L12 200 prewire leads; L12 250 prewire leads; L12 300 prewire leads

Special Packages: SSP Sample pack (SPS)

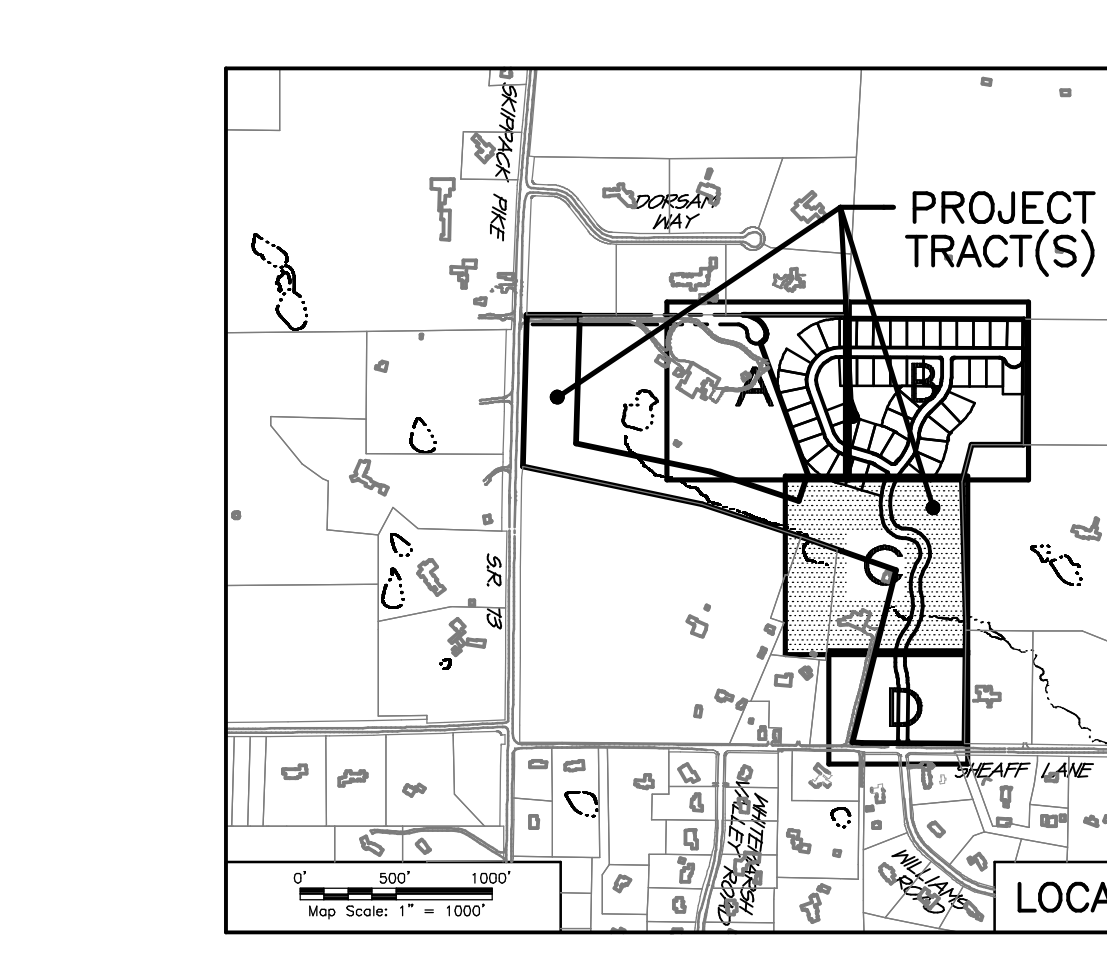
Accessories: House Side Shield shipped separately and installed in the field; 247CL P30 P35 P40 P45 P50 P55; 247CL P30 P35 P40 P45 P50 P55

AEL American Electric Lighting
All Headquarters, 3825 Columbia Road, Granville, OH 43030
© 2019 Acuity Brands Lighting, Inc. All Rights Reserved. 3002, Rev. 11/2018

LIGHT FIXTURE CUT SHEETS

LIGHTING SCHEDULE

| Symbol | Label | Qty | Catalog Number | IES File | Lumens | LLF | Watts | Mounting Height |
|--------|-------|-----|----------------------------|----------------------------|----------|------|-------|-----------------|
| ● | A | 21 | 247 CL P30 XXXX 40K R4 HSS | 247CL P30 XXXX 40K HSS.ies | Absolute | 1.00 | 39.9 | 14' |



REVISIONS

SEAL

PROJECT SERIAL NUMBER FOR DESIGN: 2021 1120944, April 22, 2021

Parcel Information: 7111 Sheaff Lane Partners, LLC. TP: 65-00-10651-50-7 Block 49, Unit 88; TP: 65-00-10611-50-2 Block 49, Unit 84; TP: 65-00-10612-60-9 Block 49, Unit 106; 7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant: 7111 Sheaff Lane Partners, LLC c/o Mr. Sal Poone, VP 1120 N. Bethlehem Pike Spring House, PA 19477 (215) 542-1331

Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)

LANDSCAPE PLAN - Section 'C'

7111 SHEAFF LANE
WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike - Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

Layer List: Sh13-16_Land
Job No: 20-1013 D
Plan Date: NOV. 17, 2021
Sheet No: 15 of 38

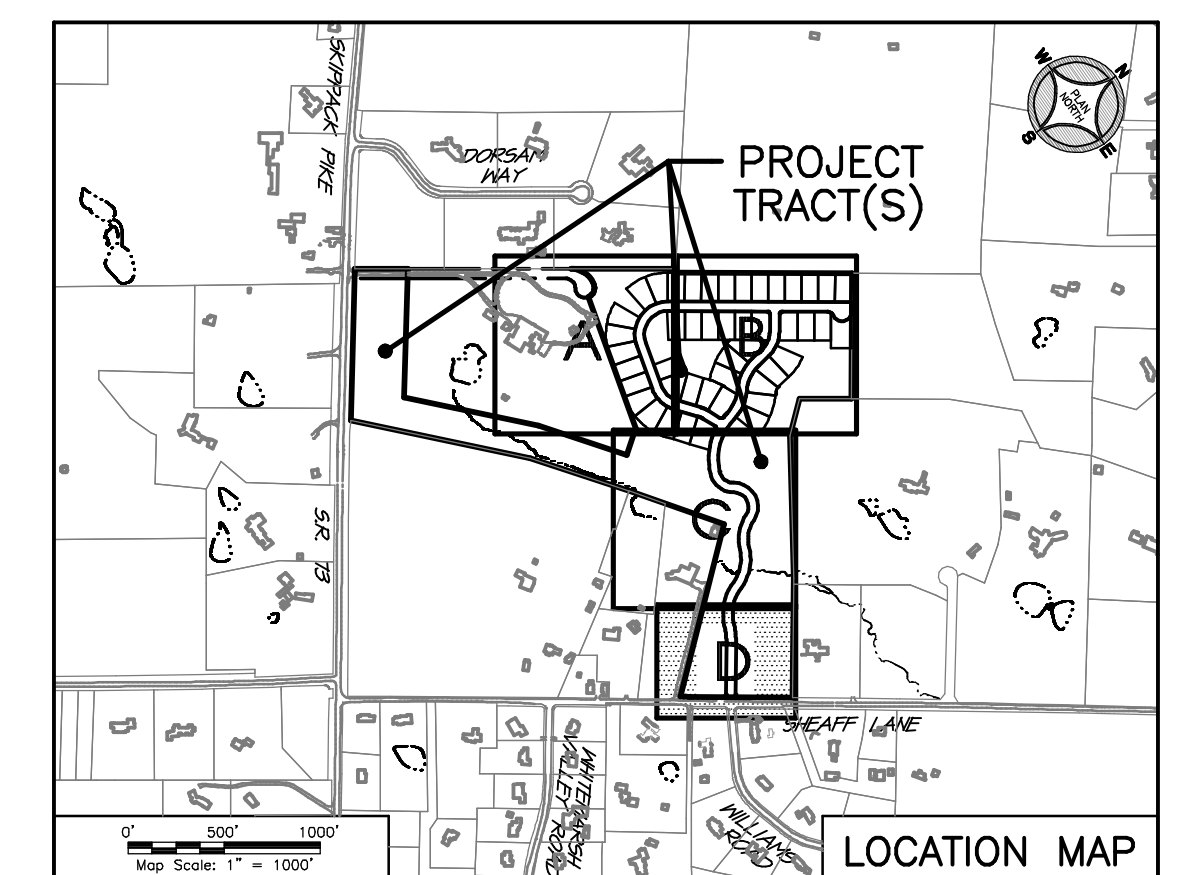


Print Date: Nov 17, 2021 (11:45:59) Plot From: S:\2021\20-1013-D Land\20-1013-D Land.dwg
 File Name: 20-1013-D Land\20-1013-D Land.dwg

PLAN LEGEND

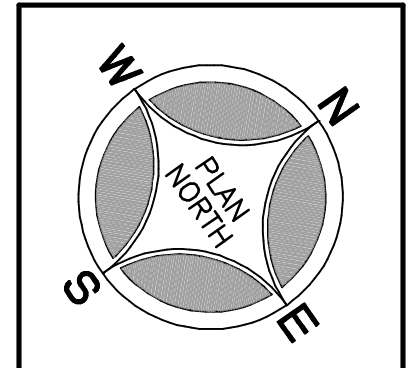
| | |
|--|--|
| | Tract Boundary Line |
| | Existing Right-of-Way Line |
| | Existing Right-of-Way Centerline |
| | Wetland Area Limit |
| | Waters w/Intermittent Wetlands |
| | Existing Slopes (8-15%) (7.57 Ac.) |
| | Existing Slopes (15-25%) (2.17 Ac.) |
| | Existing Slopes (25%+) (0.57 Ac.) |

Slope areas calculated from Aerial Survey DTM Surface.
 Steep Slope Ratio: 10.31 / 51.23 = 20.12%



REVISIONS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |



SEAL

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 Spring House, PA 15477
 (215) 542-1331

20' 0' 40'
 Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)

LANDSCAPE PLAN - Section 'D'

7111 SHEAFF LANE
 WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

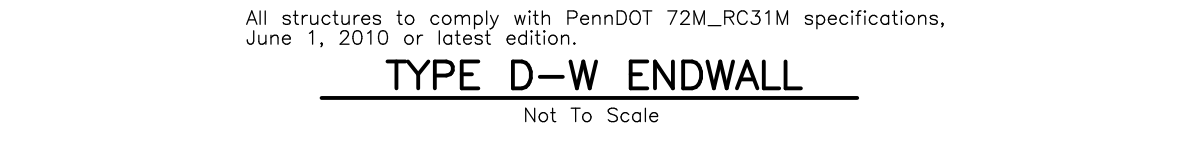
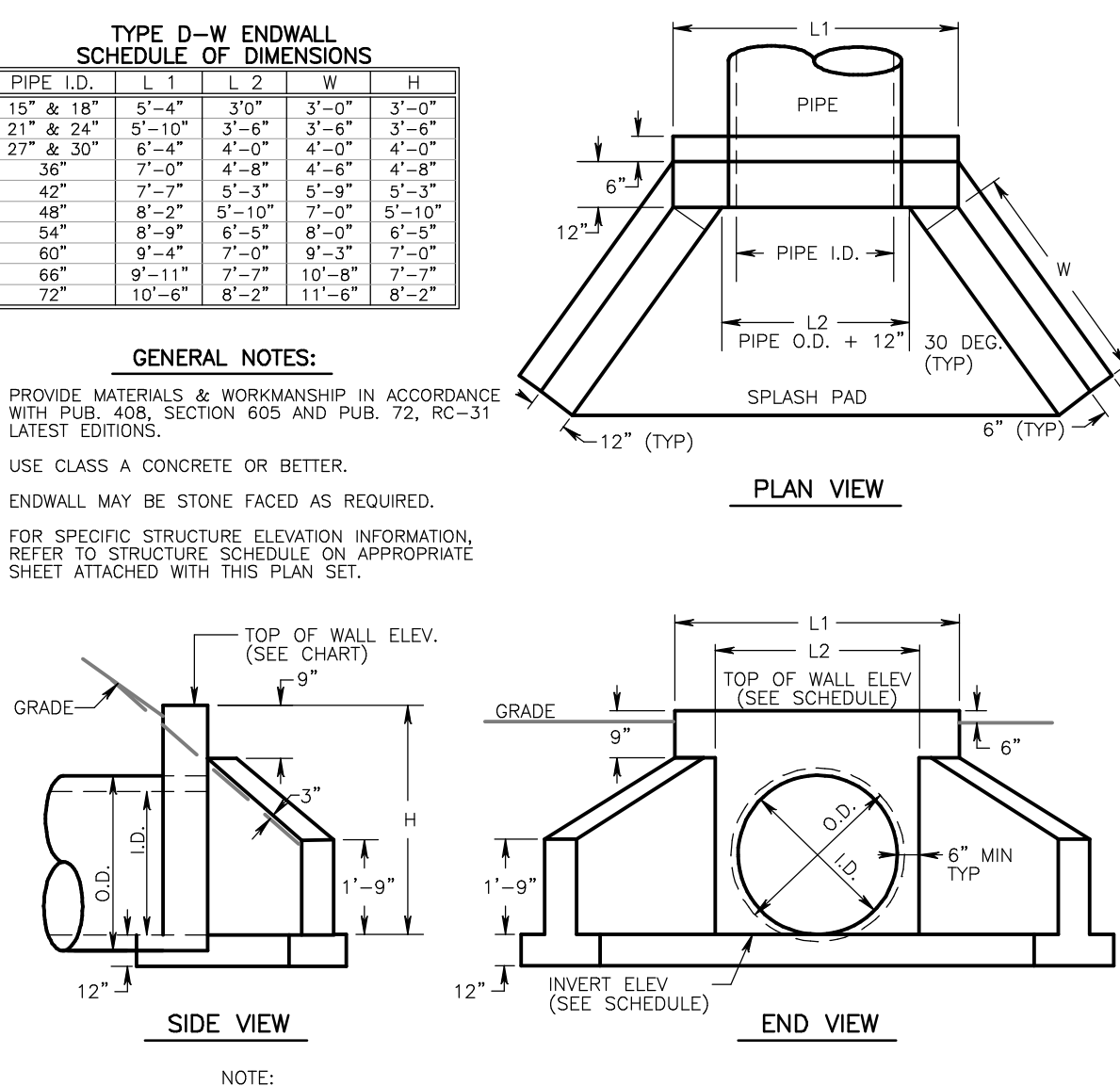
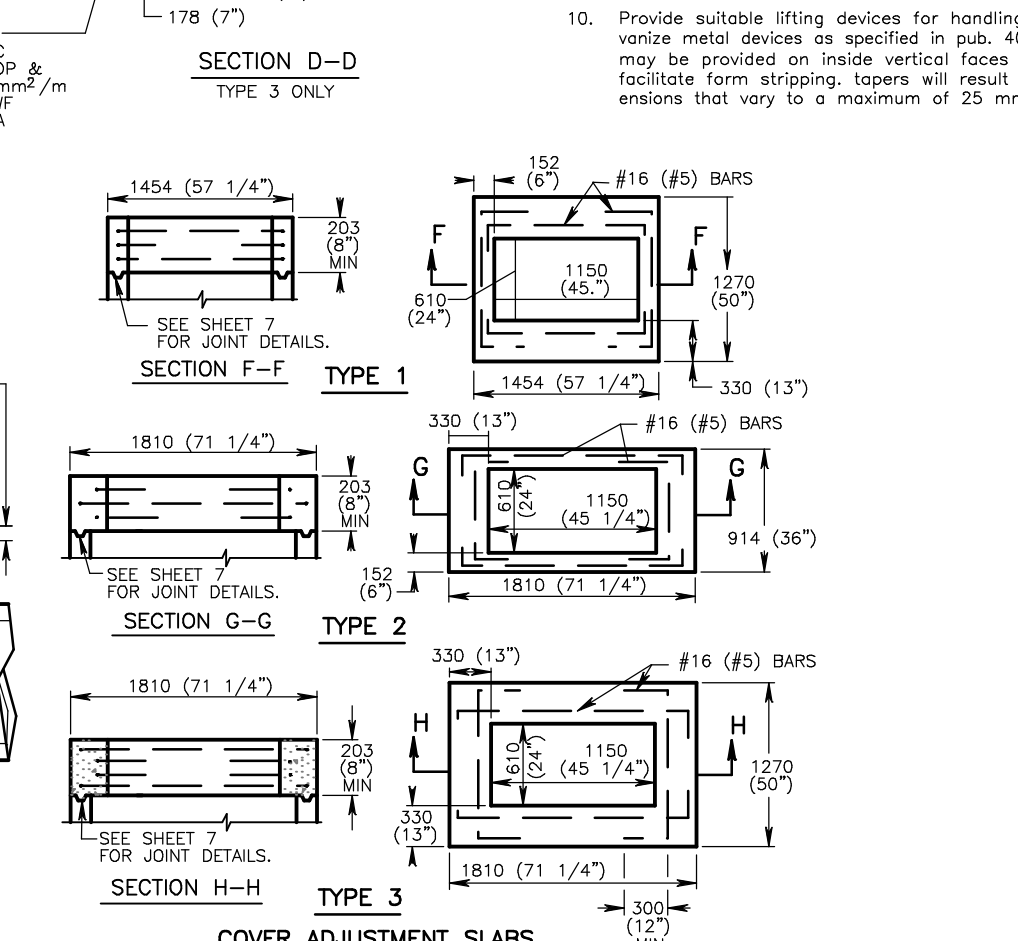
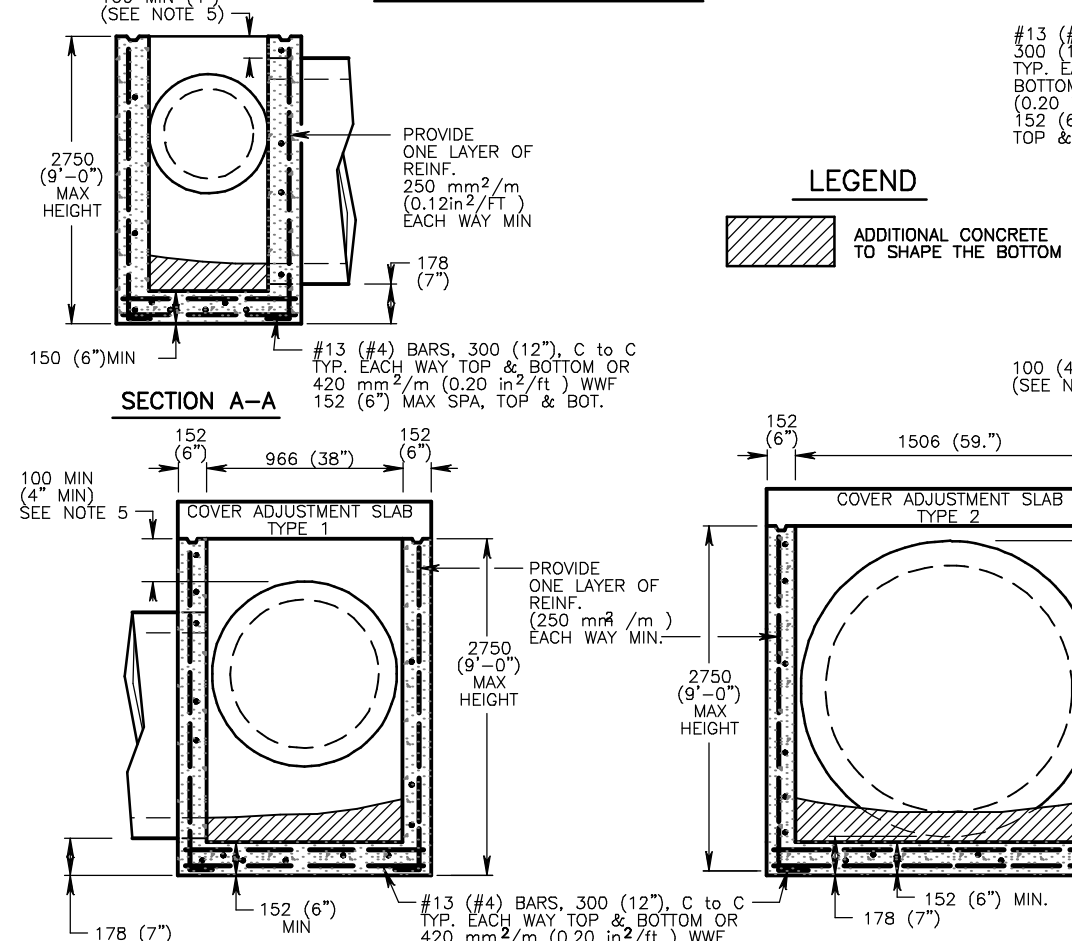
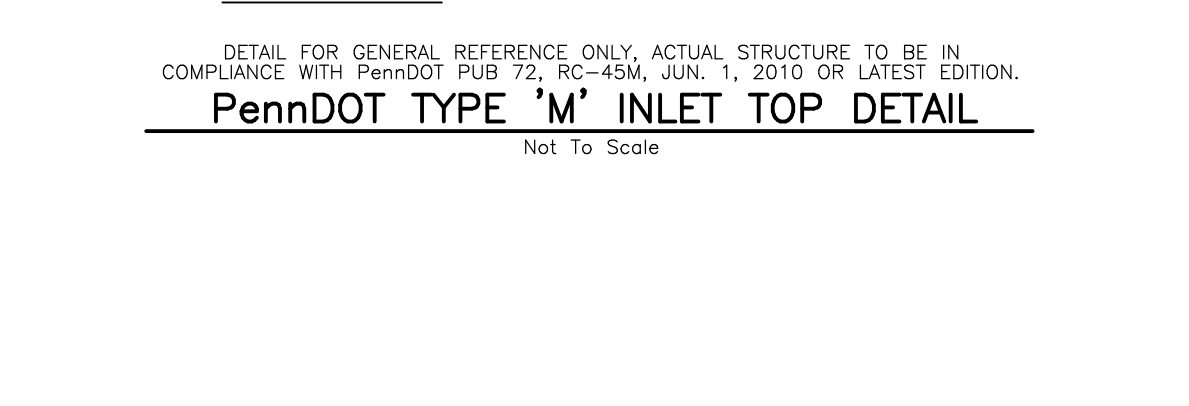
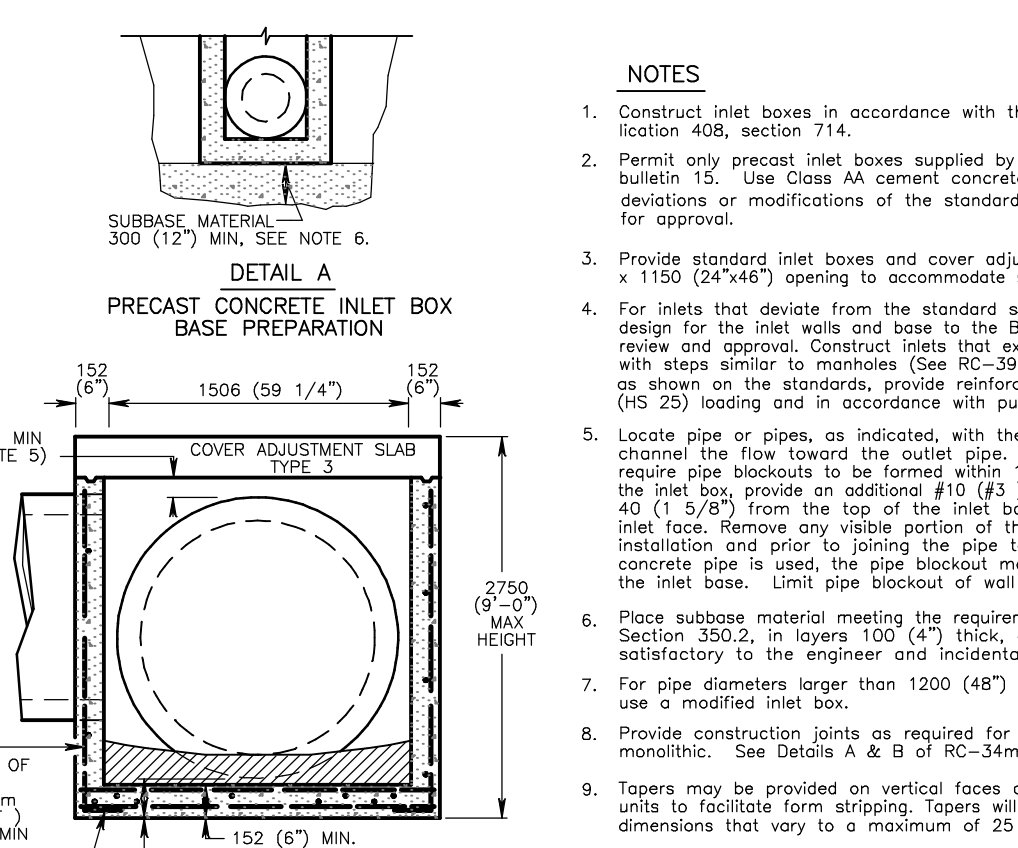
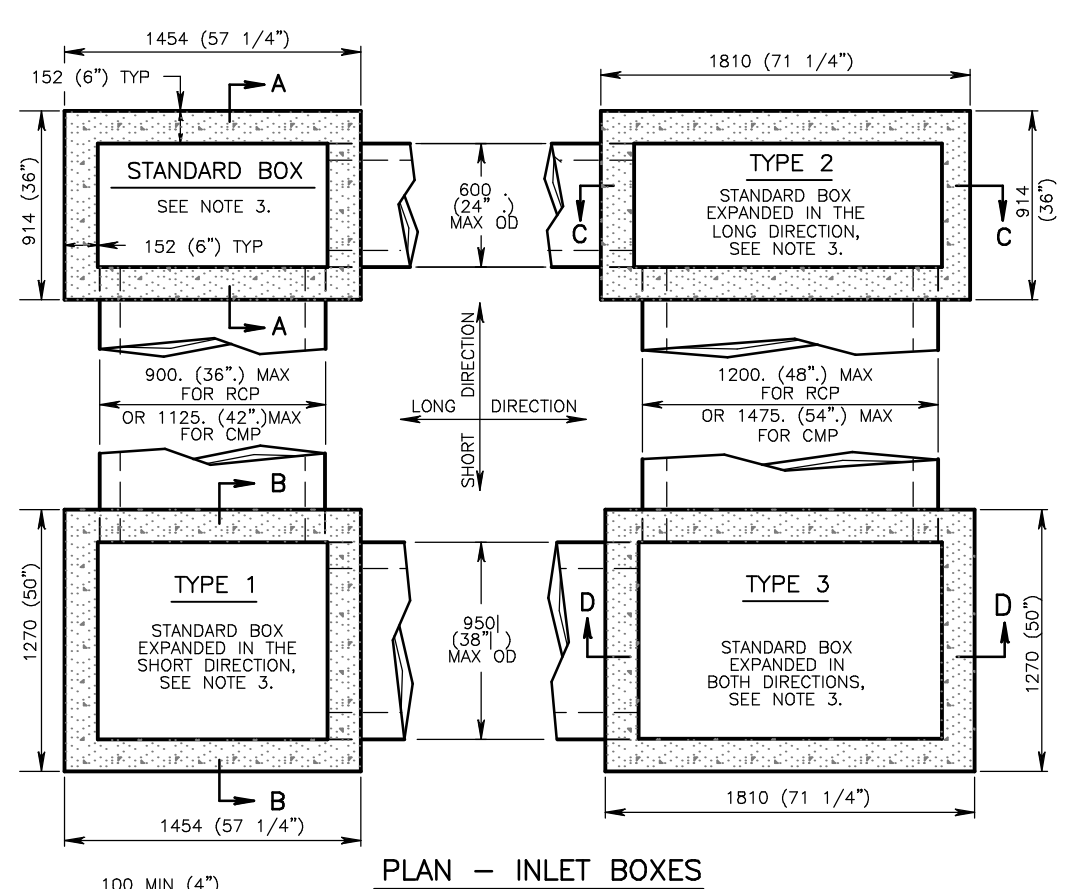
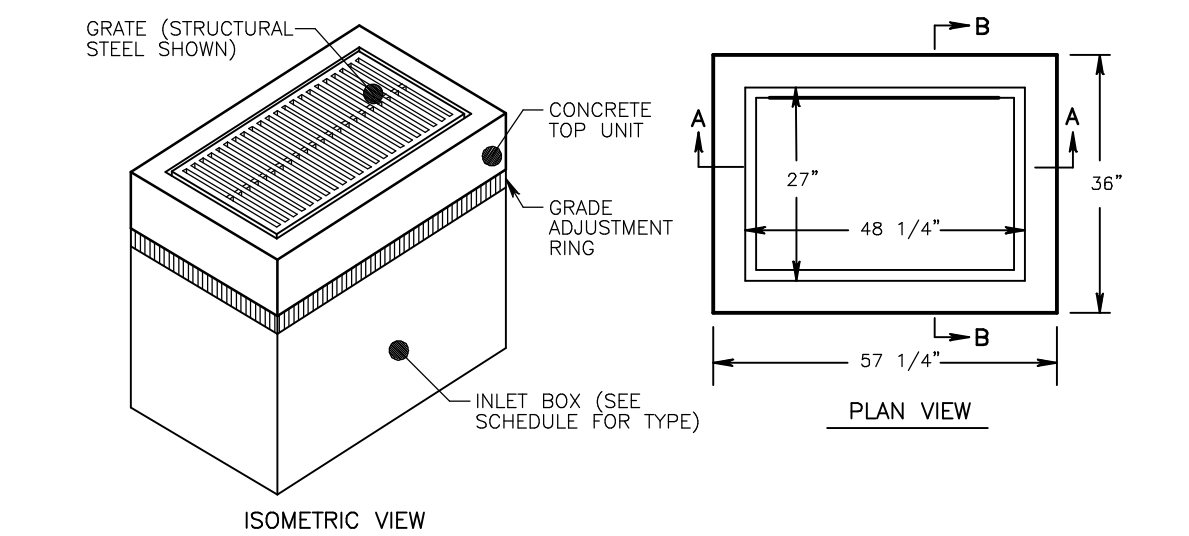
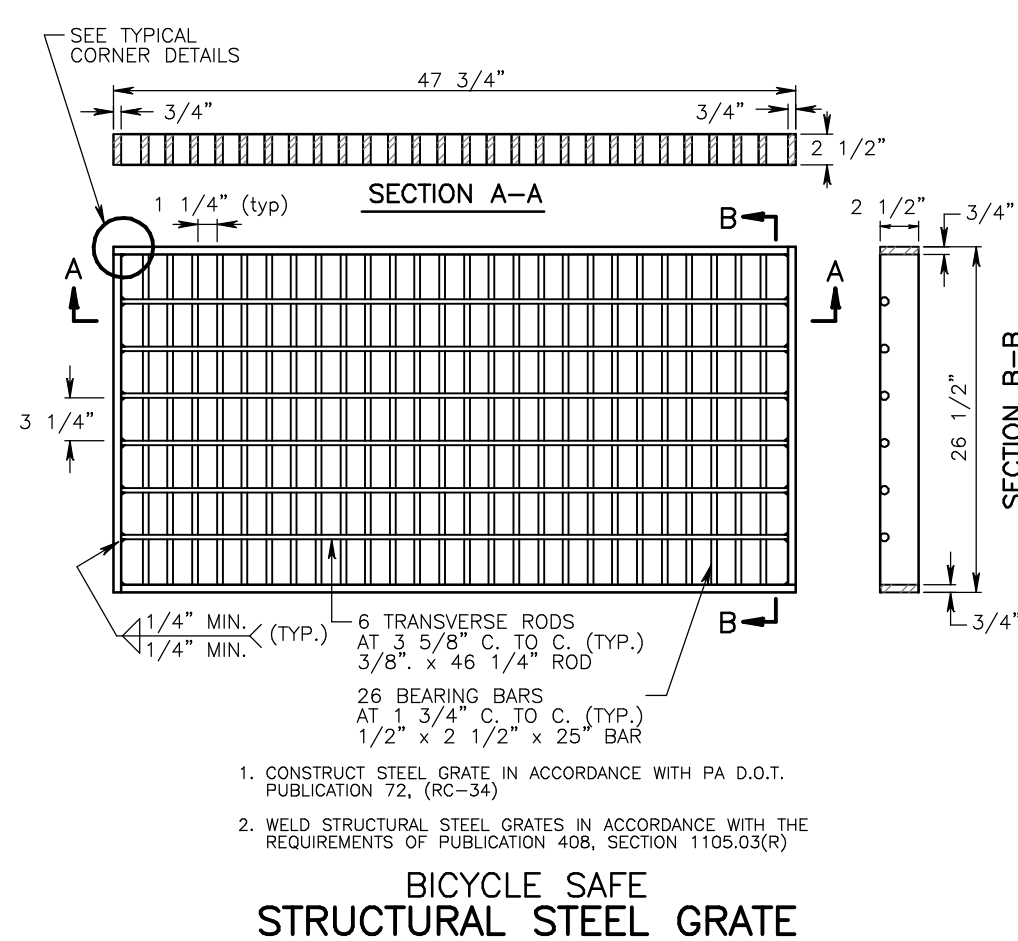
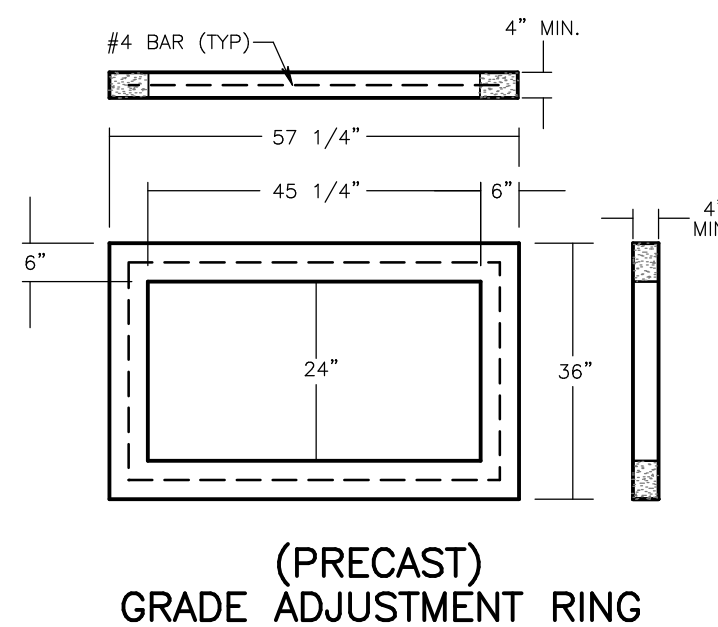
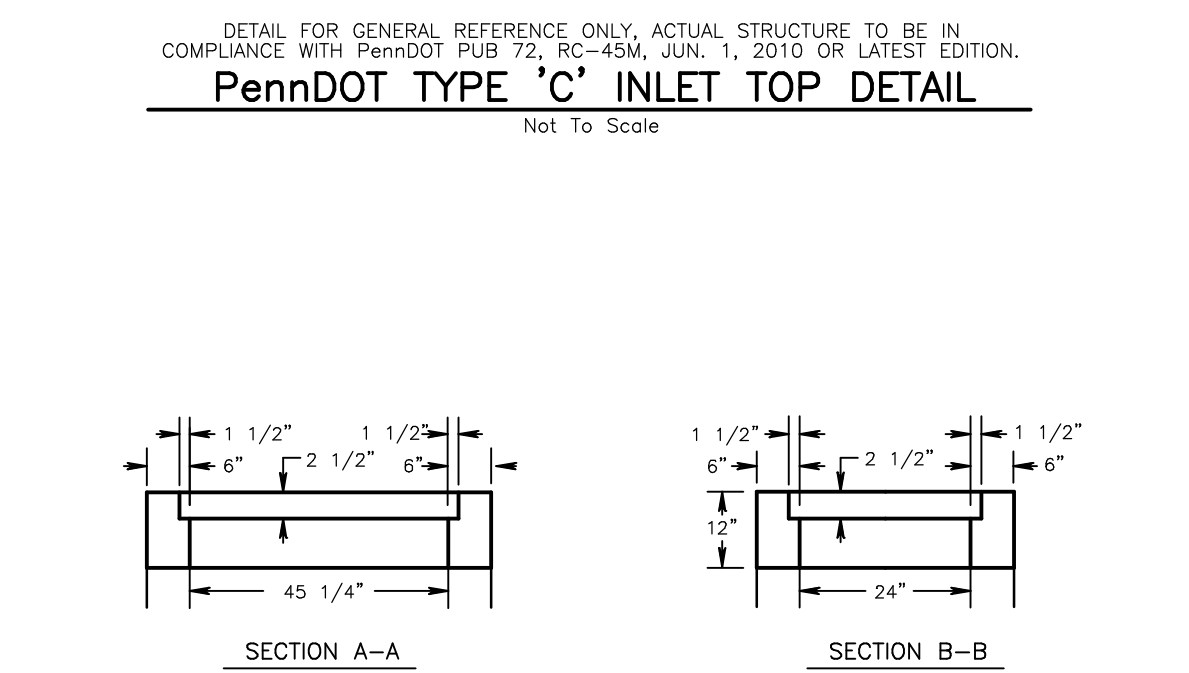
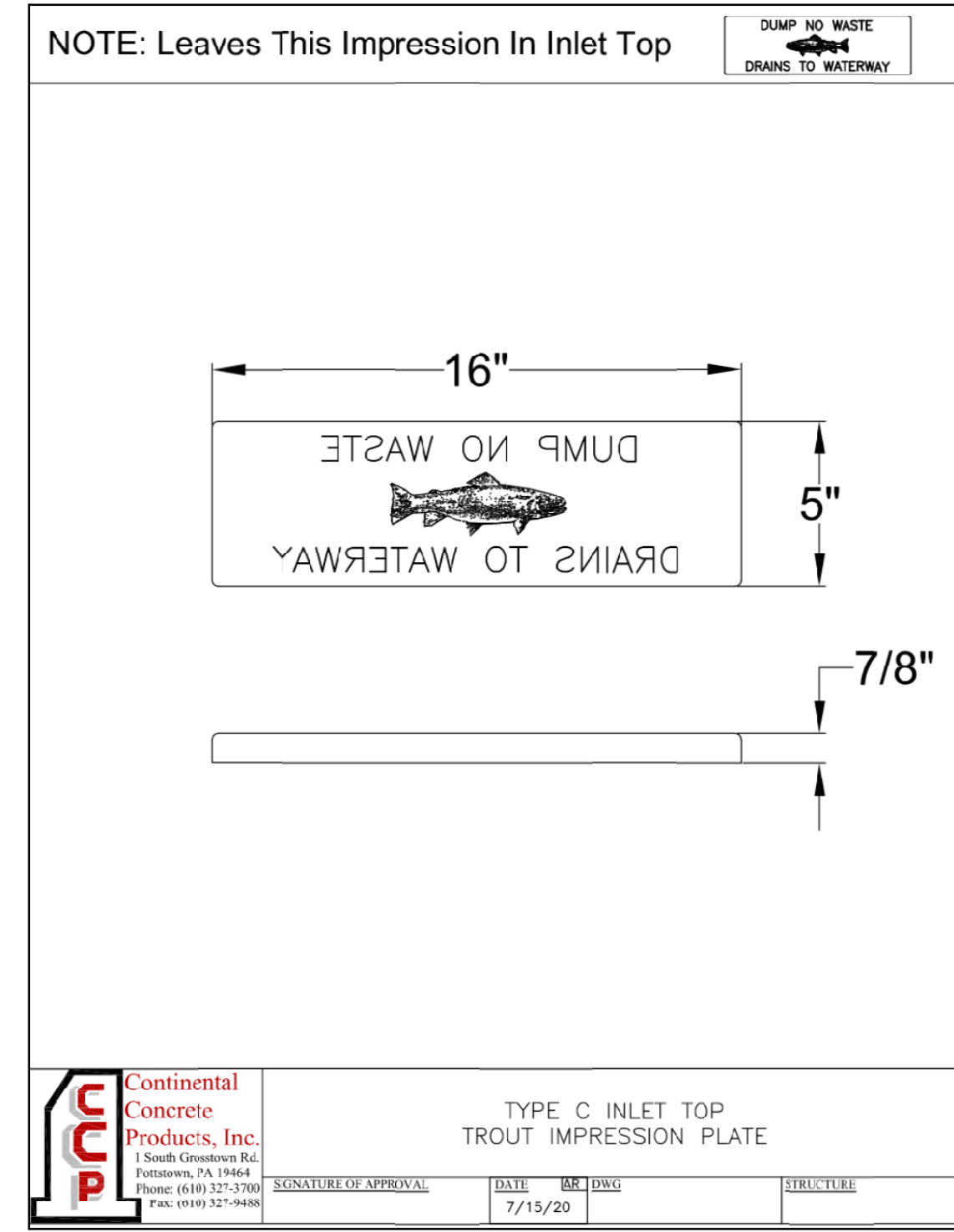
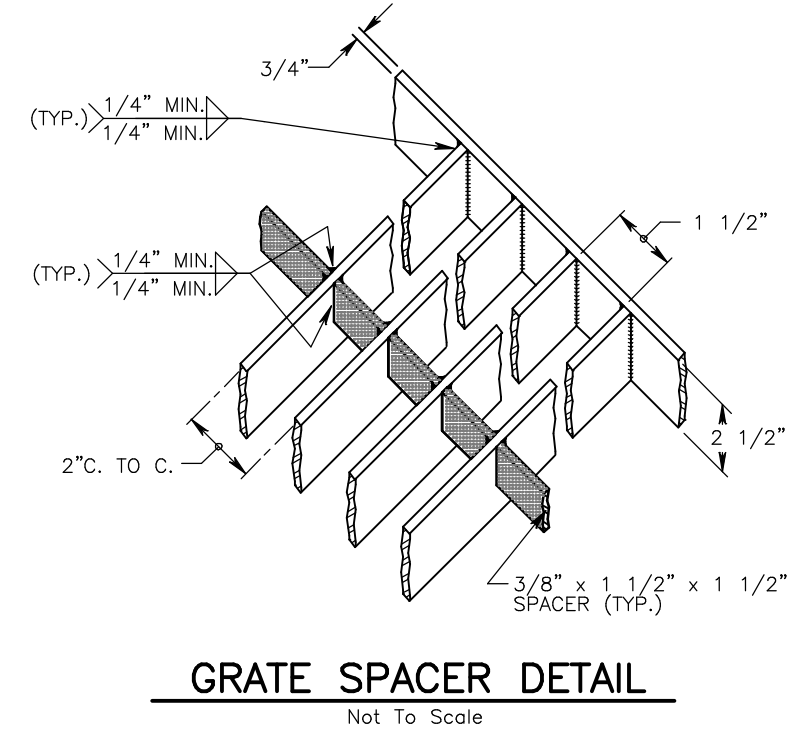
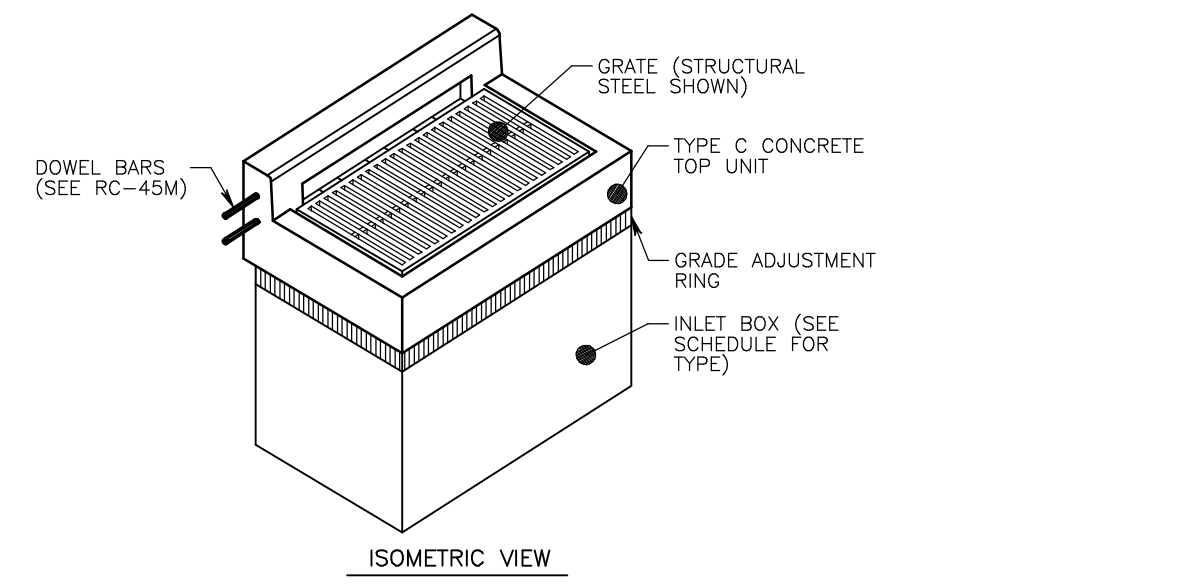
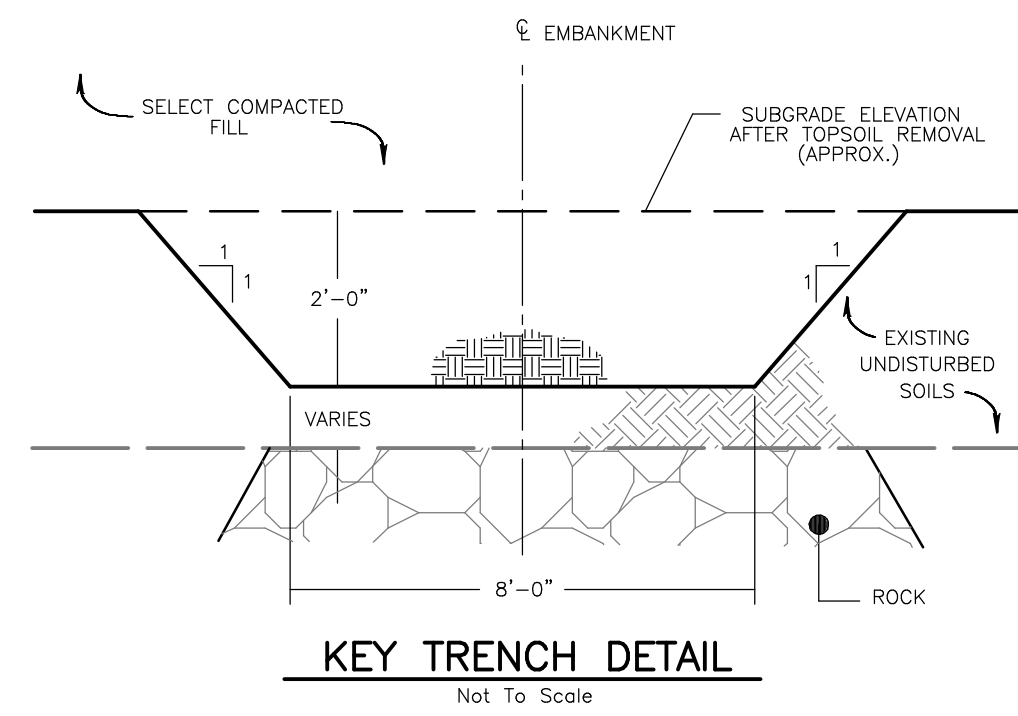
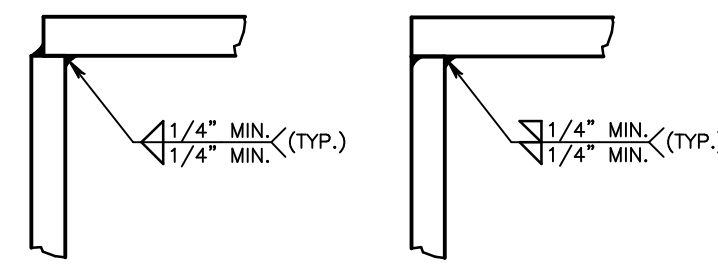
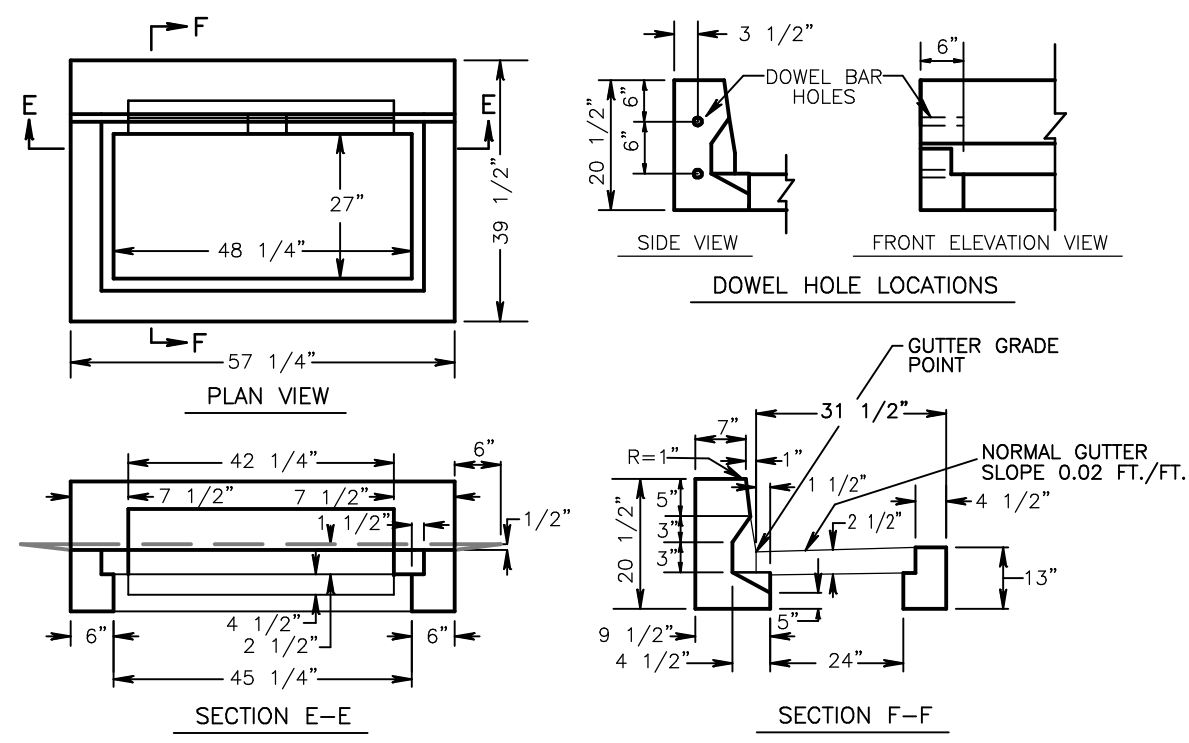
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Block 49, Unit 88
7111 Sheaff Lane
TP: 85-00-10611-50-2
Block 49, Unit 94
TP: 85-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applcmt:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

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WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 500 - Lower Gateway - PA 19002
Phone: (215) 542-2646 Web: www.woodrowinc.com

PRELIMINARY PLAN (Not To Be Recorded)
CONSTRUCTION DETAILS - Sheet 'A'
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
7111 SHEAFF LANE

Layer List:
SH17-21_DETAIL

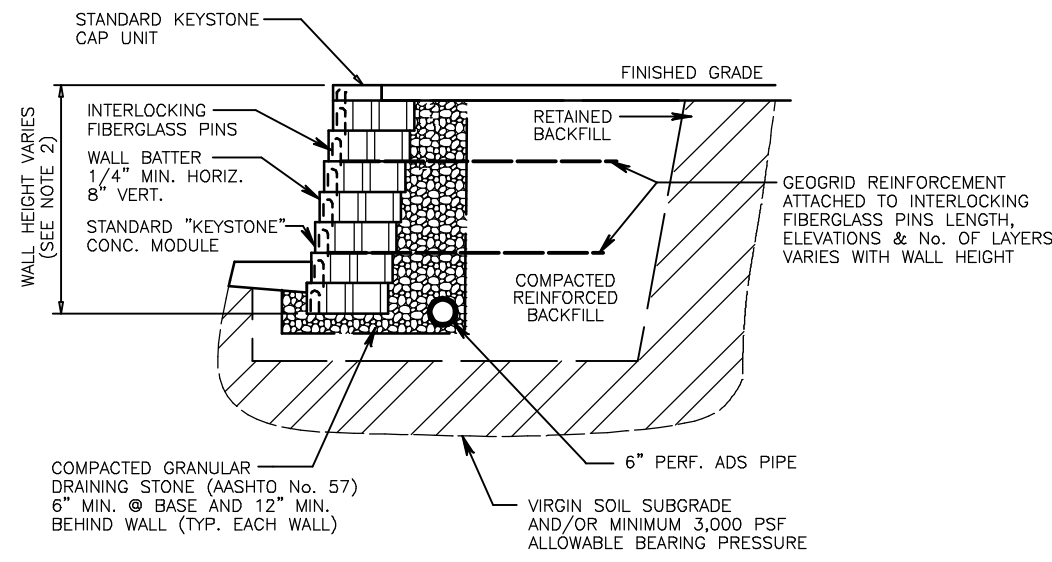
Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:
17 of 38

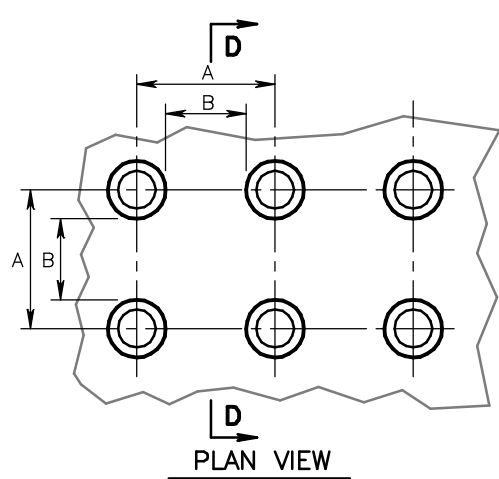
All Construction Details to be in accordance with PennDOT Pub 72M, June 2010, Change #6 or Latest Edition.

FINAL WALL DESIGN TO BE PROVIDED FOR REVIEW AND APPROVAL WITH CONSTRUCTION SHOP DRAWING PRIOR TO CONSTRUCTION



- NOTES:
- LANDSCAPE PLANTINGS WITHIN THE AREA ESTABLISHED AS THE REINFORCEMENT ZONE (THAT AREA WHERE GEORIDS ARE PLACED) WILL BE RESTRICTED TO SHALLOW ROOTED PLANTINGS AND SHRUBS. IN NO CASE SHALL TREES CAPABLE OF SIGNIFICANT HEIGHT BE PERMITTED WITHIN THIS AREA.
 - SEE GRADING PLAN FOR TOP AND BOTTOM OF WALL ELEV. (KEYSTONE BLOCK - COMPACT UNIT/NEAR VERTICAL)

BLOCK RETAINING WALL DETAIL
Not To Scale

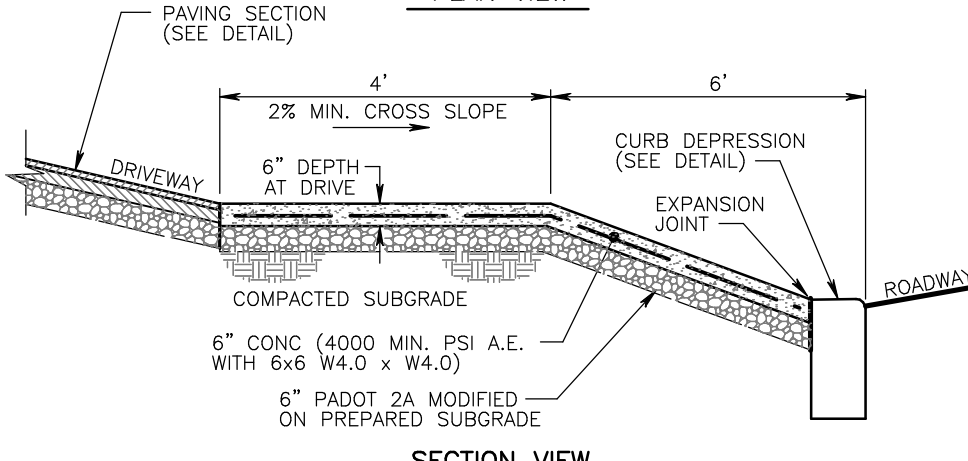
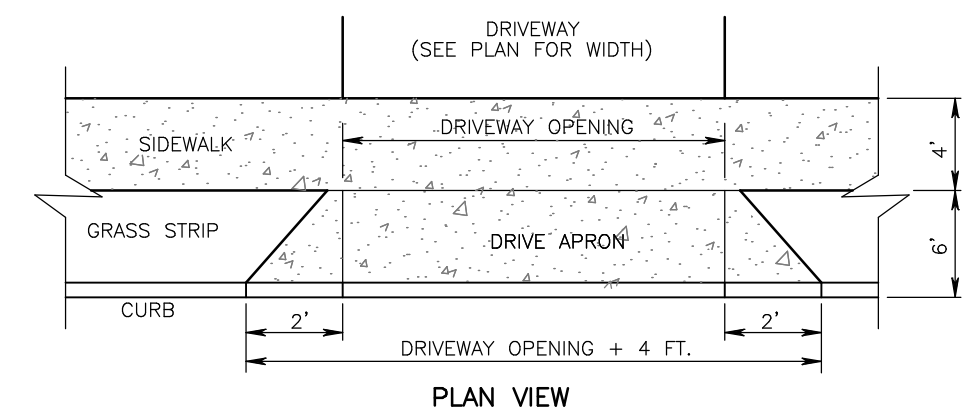


The C Dimension is 50% to 65% of the D Dimension

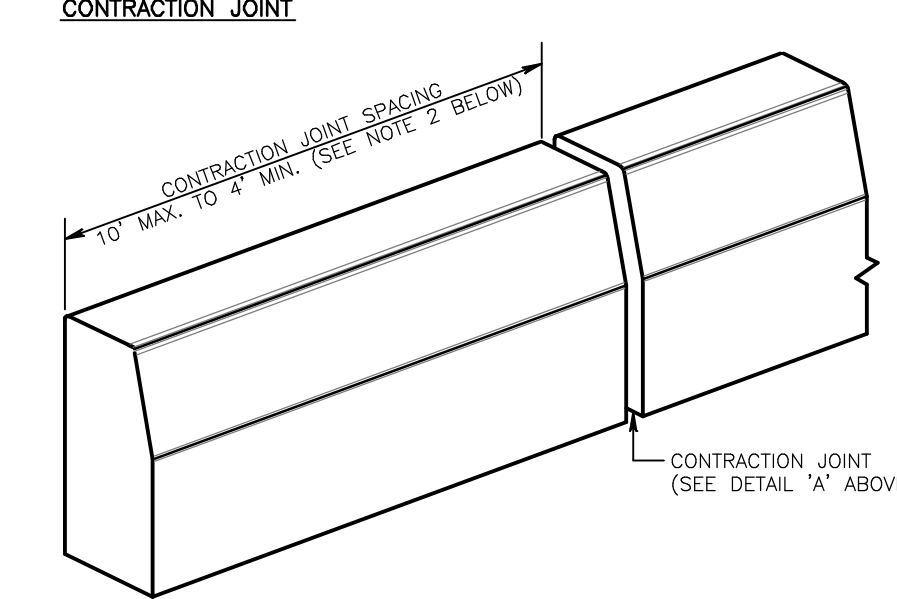
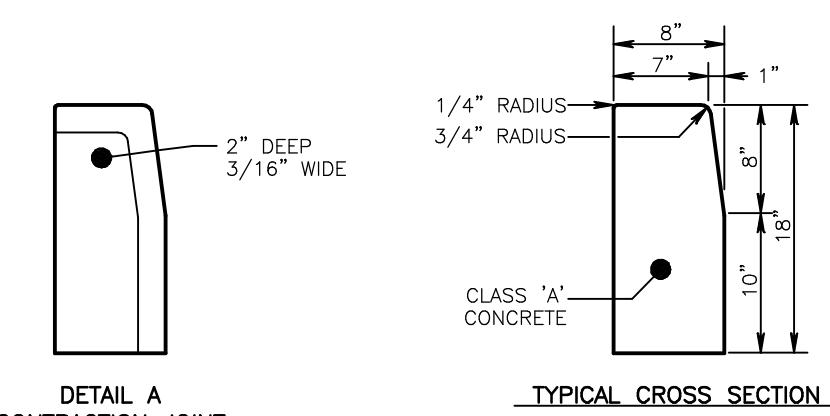
Place adjacent DWS Tiles with Manufactured Surface to Manufactured Surface. Cut Tiles along the perimeter only.

Locate one corner of the DWS at the back of the curb. No other point on the leading edge of the DWS may be more than 1525 (60") away from the back of the curb.

DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME DETAIL
Not To Scale



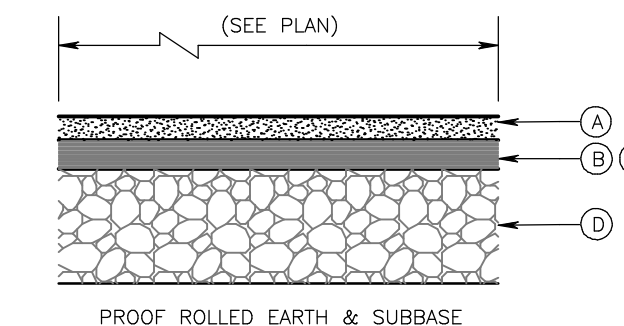
DRIVEWAY PAVING APRON DETAIL
Not To Scale



DETAIL NOTES:

- MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURBS; SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
- SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
- PLACE 3/4" HIGH PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK-DAY CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

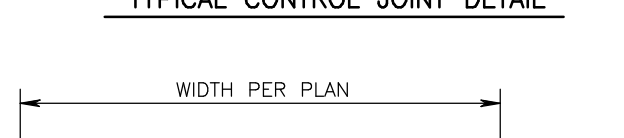
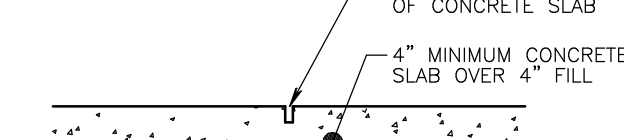
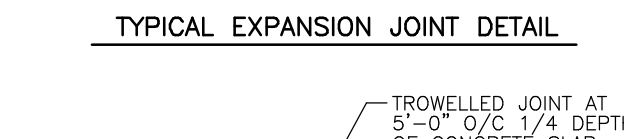
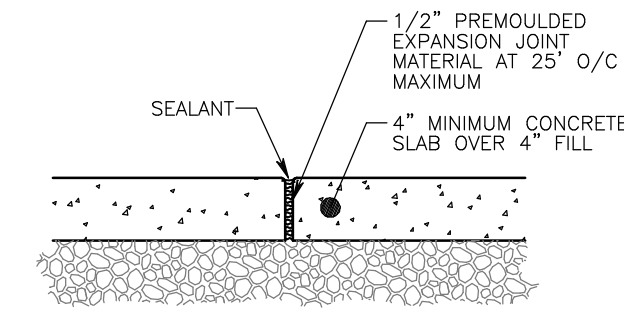
PLAIN CONCRETE CURB
Not To Scale



- TRAIL:
- 1" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 645-22, Wearing Course, 0-0.3M ESALS, M or Greater
 - 6" 2A Modified Subbase
- ROAD SECTION:
- 1" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 645-22, Wearing Course, 0-0.3M ESALS, M or Greater
 - 2" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 645-22, Wearing Course, 0-0.3M ESALS
 - 8" No. 4 Stone chocked with Screenings
- PRIVATE DRIVE SECTION:
- 1.5" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 645-22, Wearing Course, 0-0.3M ESALS, M or Greater
 - 3" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 64-225, Binder Course, 0-0.3M ESALS
 - 6" 2A Modified Subbase
 - 4" 2A Modified Subbase
- ALTERNATE ROAD SECTION:
- 1" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 645-22, Wearing Course, 0-0.3M ESALS, M or Greater
 - 2" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 64-225, Binder Course, 0-0.3M ESALS
 - 1" SuperPave Volumetric Asphalt Mix, 9.5mm, PG 64-225, Base Course, 0-0.3M ESALS
 - 4" 2A Modified Subbase

PROJECT PAVING SECTIONS
Not To Scale

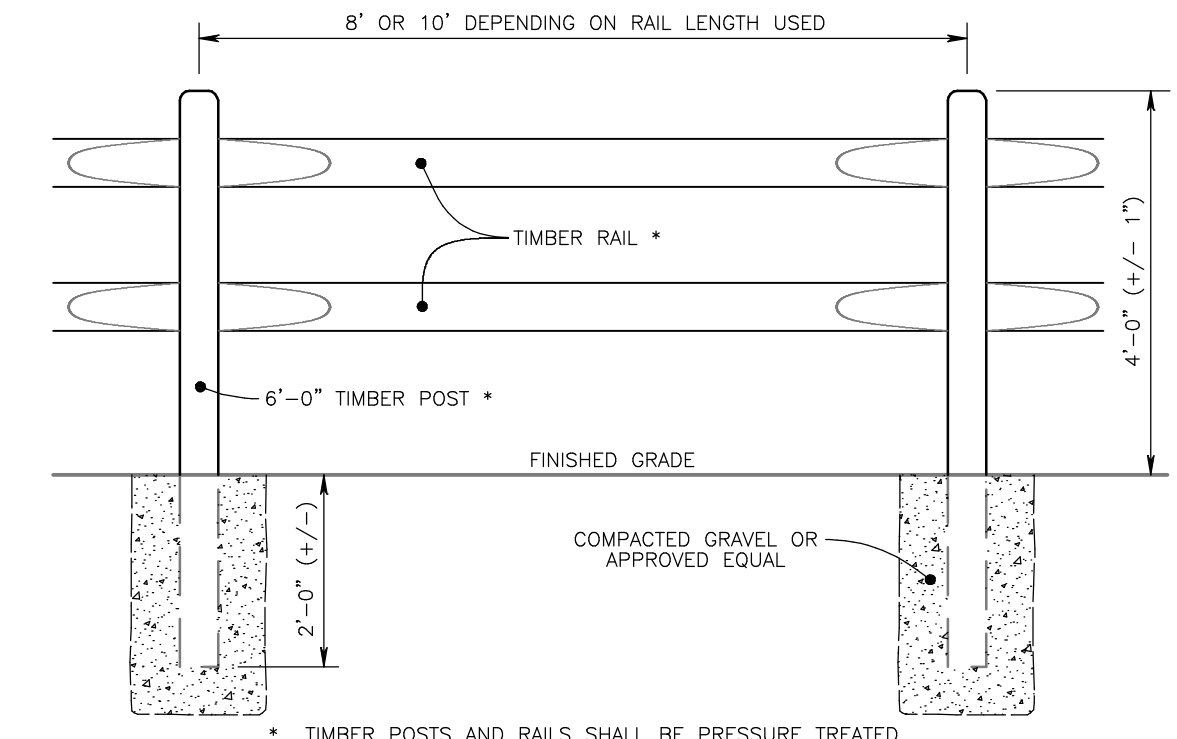
ALL SUBGRADE AREAS TO BE COMPACTED AND APPROVED PRIOR TO PLACEMENT OF MATERIALS



CONCRETE SIDEWALK
Not To Scale

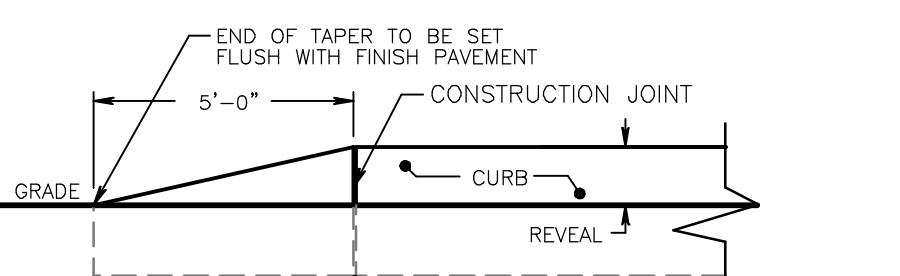
- NOTES:
- JOINTS NOT TO EXCEED 1/2" IN WIDTH.
 - EXPANSION JOINTS EVERY 50', AT THE PC & PT OF CURVES AND AT DRIVEWAY DEPRESSIONS.
 - 10"-12" BLOCK MAY BE USED IN CURB DEPRESSIONS.

BELGIAN BLOCK CURB
Not To Scale

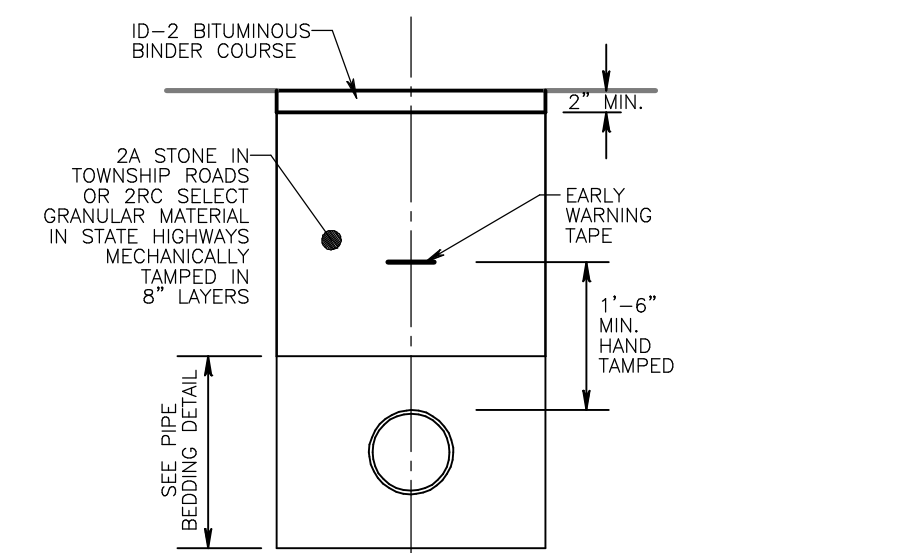


TIMBER SPLIT RAIL FENCE
Not To Scale

TIMBER POSTS AND RAILS SHALL BE PRESSURE TREATED WITH WATER-BORNE PRESERVATIVES, CCA TREATMENT (LP-22) @ 0.40 pcf (40 YEAR) OR APPROVED EQUAL

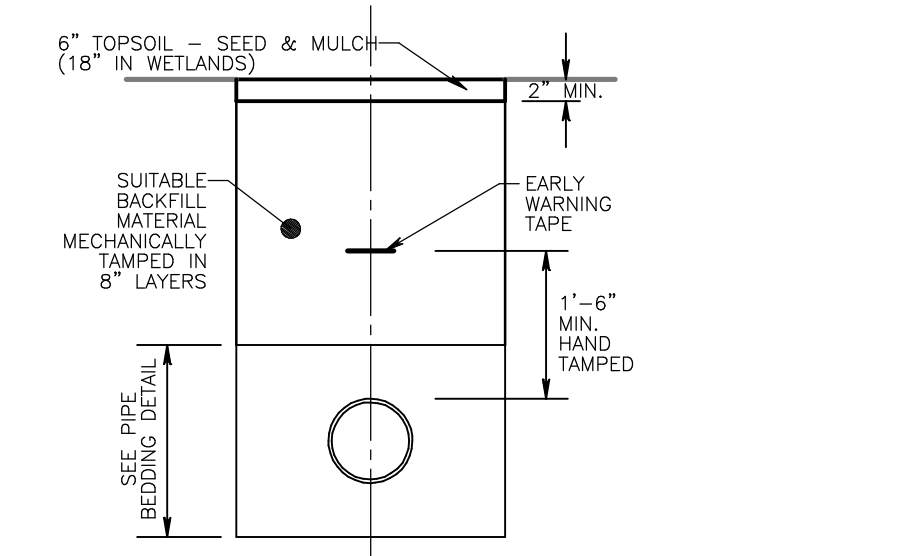


5' CONCRETE CURB END TAPER
Not To Scale



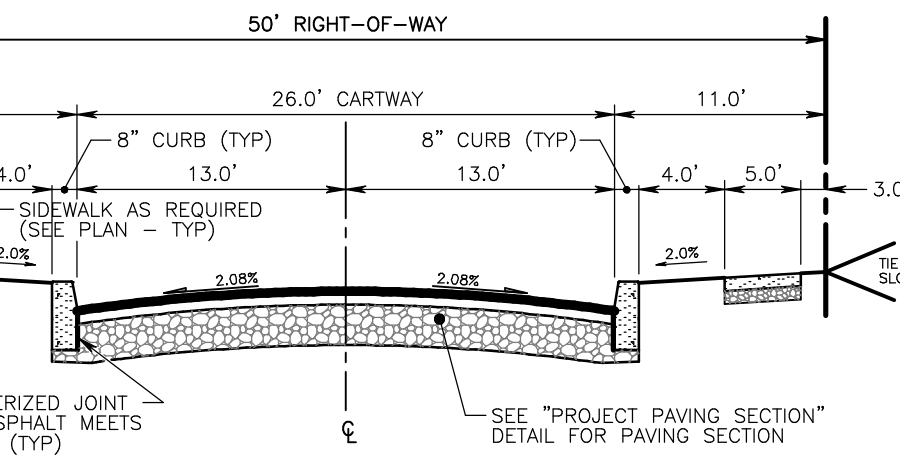
- NOTES:
- SPECIAL CONTRACTOR OF TOWNSHIP ROAD OPENING OR PENNDOT HIGHWAY OCCUPANCY PERMIT MAY SUPERSEDE THIS DETAIL.
 - CONTRACTOR TO MAINTAIN TEMPORARY PAVING, UNTIL PERMANENT PAVING IS INSTALLED.

TEMPORARY PAVEMENT RESTORATION
Not To Scale

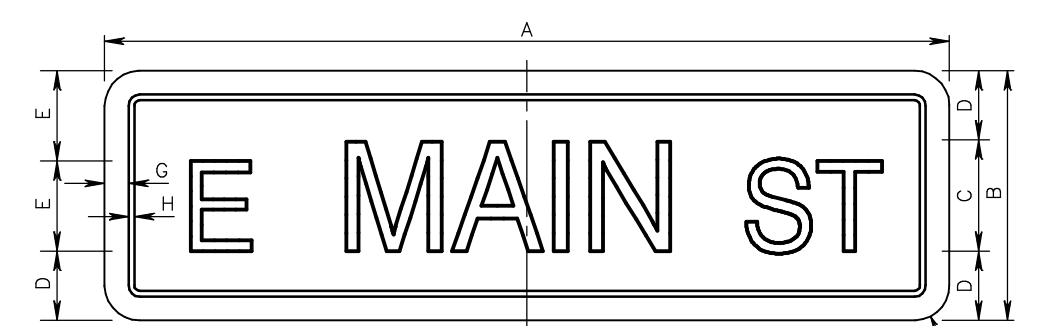


- NOTES:
- THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RESTORED IN ACCORDANCE WITH SPECIFICATIONS NOTED ON PLANS.
 - THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED WITH PREVIOUSLY STRIPPED TOPSOIL AND RESTORED IN ACCORDANCE WITH SPECIFICATIONS NOTED ON PLANS.

RESTORATION IN UNPAVED AREAS
Not To Scale



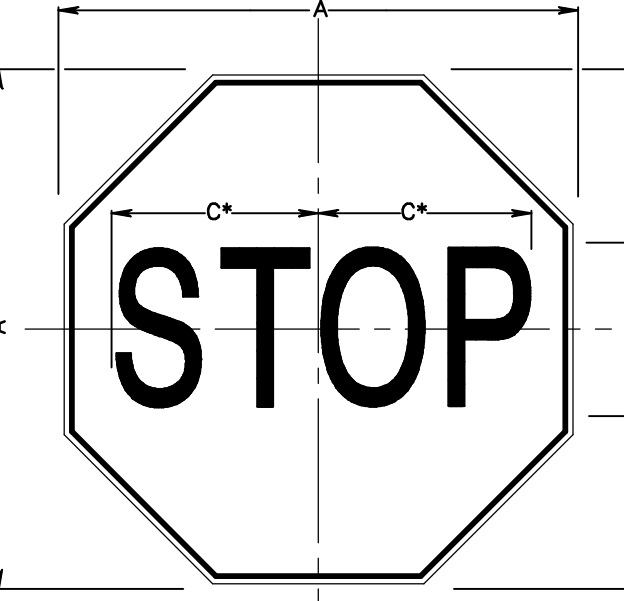
INTERNAL LOCAL ROADWAYS ONLY ROADWAY CROSS-SECTION
Not To Scale



COLOR: WHITE LETTERS ON GREEN BACKGROUND
NOTE:
1. STREET SIGN TO BE GREEN WITH 6" HIGH WHITE LETTERS.
2. STREET SIGNS MUST HAVE REINFORCED EXTRUDED EDGES.
3. STREET SIGNS SHALL BE HIGH INTENSITY GRADE SIGNS ACCORDING TO TOWNSHIP ORDINANCE.

| SIGN SIZE | DIMENSIONS | | | | | | | |
|-----------|------------|---|---|---|---|-------|-----|-----|
| | A | B | C | D | E | F | G | H |
| 24 x 8 | 24 | 8 | 4 | 2 | 3 | 1 1/2 | 3/4 | 3/8 |

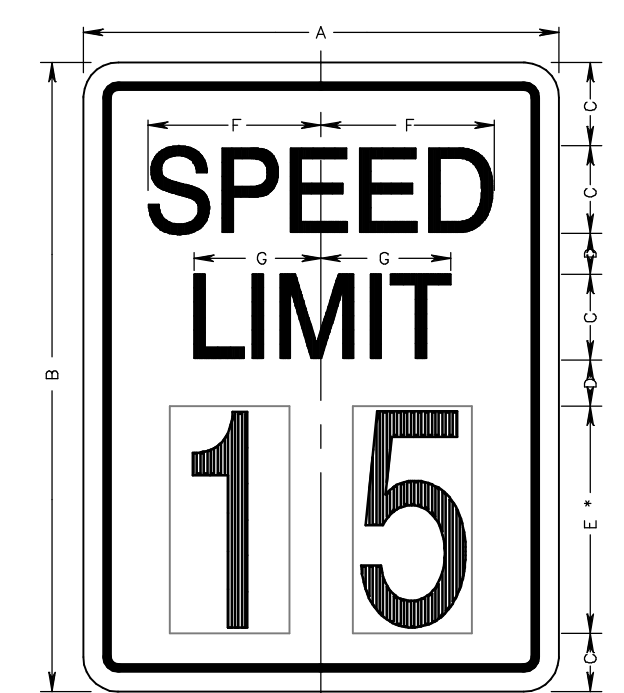
D-3 STREET SIGN
Not To Scale



COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED) BACKGROUND RED (REFLECTORIZED)

| SIGN SIZE | DIMENSIONS | | | SERIES | BOR- DER | BLANK STUD |
|-----------|------------|----|----|--------|----------|------------|
| | A | B | C | | | |
| 24 x 24 | 24 | 24 | 10 | 10 | 1 | B1-24 |
| 30 x 30 | 30 | 30 | 12 | 12 | 1 | B1-30 |
| 36 x 36 | 36 | 36 | 12 | 15 | 1 | B1-36 |
| 48 x 48 | 48 | 48 | 16 | 20 | 1 | B1-48 |

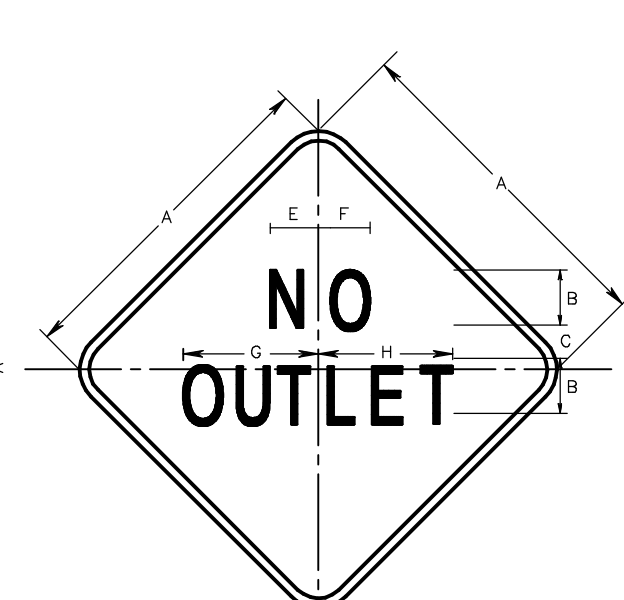
(R1-1) STOP SIGN DETAIL
Not To Scale



COLOR: LEGEND AND BORDER BLACK (NON-REFLECTORIZED) BACKGROUND WHITE (REFLECTORIZED)

| SIGN SIZE | DIMENSIONS | | | | | | | | SERIES LINES | MAR- GIN | BOR- DER | BLANK STUD |
|-----------|------------|----|---|---|----|-------|--------|---|--------------|----------|----------|------------|
| | A | B | C | D | E | F | G | H | | | | |
| 24 x 30 | 24 | 30 | 4 | 2 | 10 | 9 1/4 | 7 1/4 | E | E | 1 | 1 | B5-3024 |
| 30 x 36 | 30 | 36 | 4 | 2 | 12 | 12 | 9 1/4 | E | E | 1 | 1 | B5-3036 |
| 36 x 48 | 36 | 48 | 4 | 2 | 14 | 14 | 11 1/4 | E | E | 1 | 1 | B5-3648 |
| 48 x 60 | 48 | 60 | 4 | 2 | 16 | 16 | 13 1/4 | E | E | 1 | 1 | B5-4860 |

R2-1 SPEED LIMIT SIGN DETAIL
Not To Scale



COLOR: LEGEND AND BORDER BLACK (NON-REFLECTORIZED) BACKGROUND YELLOW (REFLECTORIZED)

| SIGN SIZE | DIMENSIONS | | | | | | | | SERIES LINES | MAR- GIN | BOR- DER | BLANK STUD |
|-----------|------------|----|---|---|----|---|-------|--------|--------------|----------|----------|------------|
| | A | B | C | D | E | F | G | H | | | | |
| 30 x 30 | 30 | 30 | 6 | 4 | 12 | 5 | 5 1/2 | 13 1/4 | 14 1/4 | 1 | 1 | B3-30 |

(W14-2) NO OUTLET SIGN
Not To Scale

ALL SIGNS MUST BE MOUNTED A MINIMUM OF SEVEN FEET FROM THE GUTTER LINE.
ALL SIGNS INSTALLED WITHIN THE PROPOSED RIGHT OF WAY SHALL BE MOUNTED ON BROW AWAY POSTS.

All Construction Details to be in accordance with PennDOT Pub 72M, June 2010, Change #6 or Latest Edition.

REVISIONS

| No. | Date | Description |
|-----|------|-------------|
| | | |

SEAL

PROJECT SERIAL NUMBER FOR DESIGN: 2021 1120944 April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7 Block 49, Unit 86
7111 Sheaff Lane
TP: 65-00-10611-50-2 Block 49, Unit 84
7111 Sheaff Lane
TP: 65-00-10612-60-9 Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. Row: 0.4083 Ac.
NET Area: 50.9202 Ac.

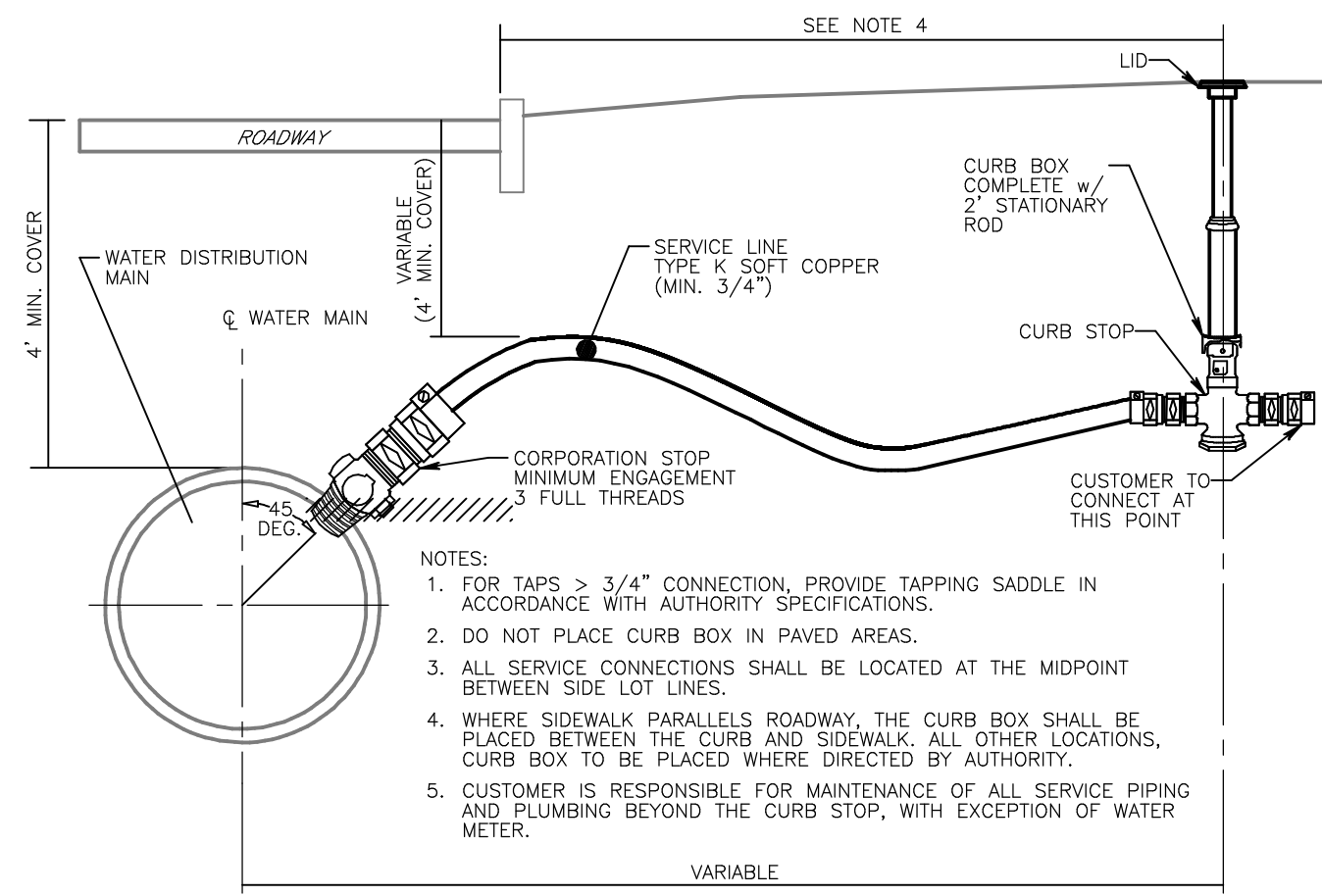
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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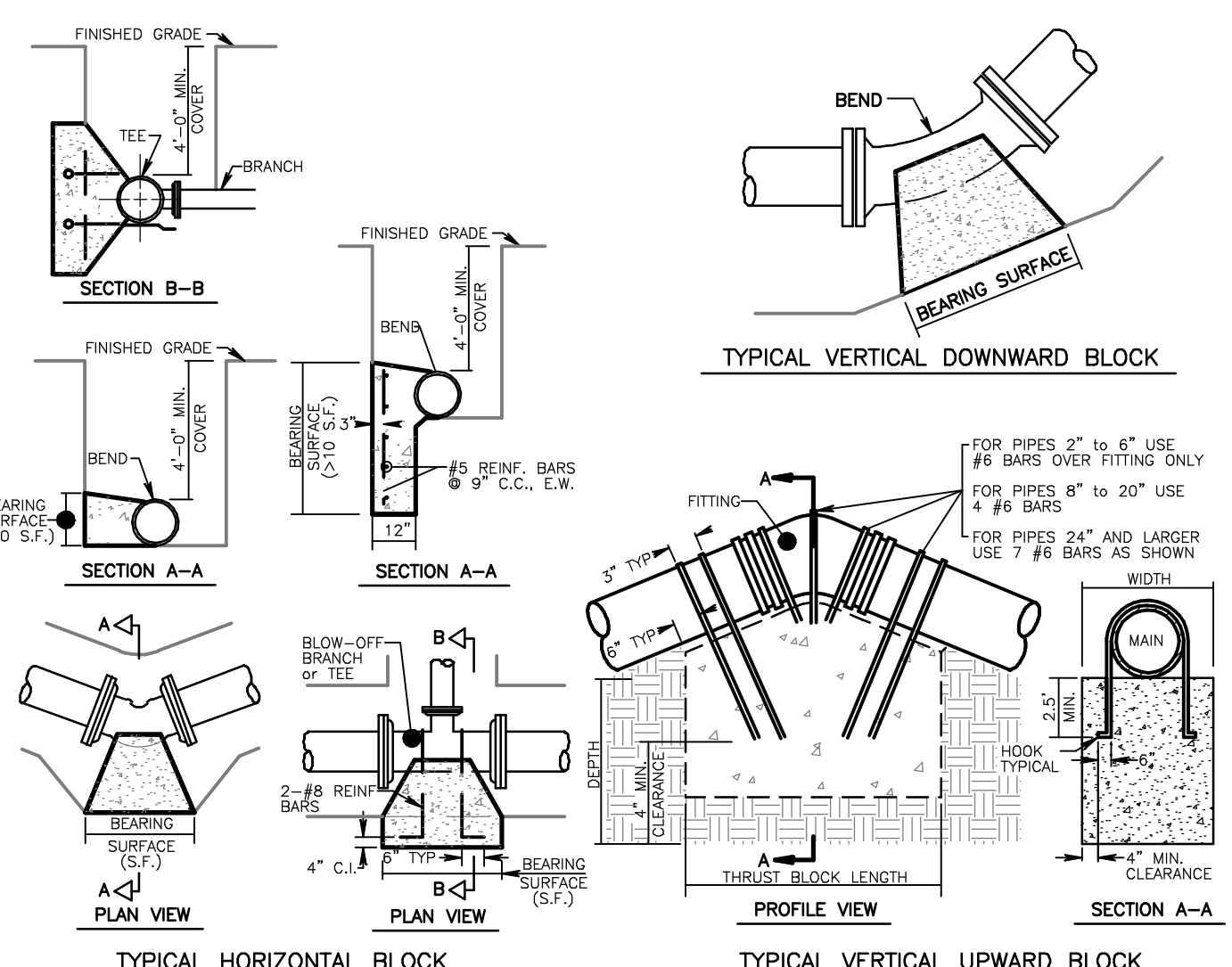
PRELIMINARY PLAN (Not To Be Recorded)
CONSTRUCTION DETAILS - Sheet 'B'
7111 SHEAFF LANE
WHEATMARKET TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 19002
Phone: (215) 542-3946 Web: www.woodrowinc.com

Layer List:
SH17-21_DETAIL
Job No:
20-1013 D
Plan Date:
Nov. 17, 2021
Sheet No:
18 of 38



STANDARD WATER SERVICE CONNECTION
Not To Scale

- NOTES:
- FOR TAPS > 3/4" CONNECTION, PROVIDE TAPPING SADDLE IN ACCORDANCE WITH AUTHORITY SPECIFICATIONS.
 - DO NOT PLACE CURB BOX IN PAVED AREAS.
 - ALL SERVICE CONNECTIONS SHALL BE LOCATED AT THE MIDPOINT BETWEEN SIDE LOT LINES.
 - WHERE SIDEWALK PARALLELS ROADWAY, THE CURB BOX SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. ALL OTHER LOCATIONS, CURB BOX TO BE PLACED WHERE DIRECTED BY AUTHORITY.
 - CUSTOMER IS RESPONSIBLE FOR MAINTENANCE OF ALL SERVICE PIPING AND PLUMBING BEYOND THE CURB STOP, WITH EXCEPTION OF WATER METER.

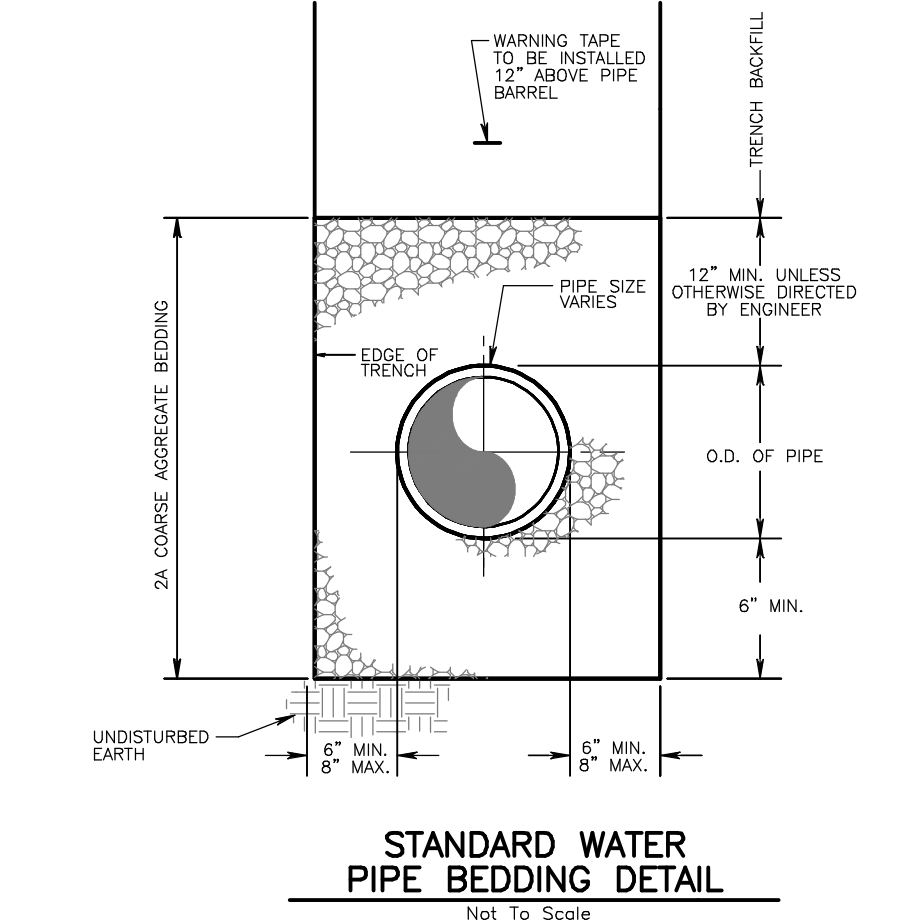


TYPICAL THRUST BLOCKING DETAILS
Not To Scale

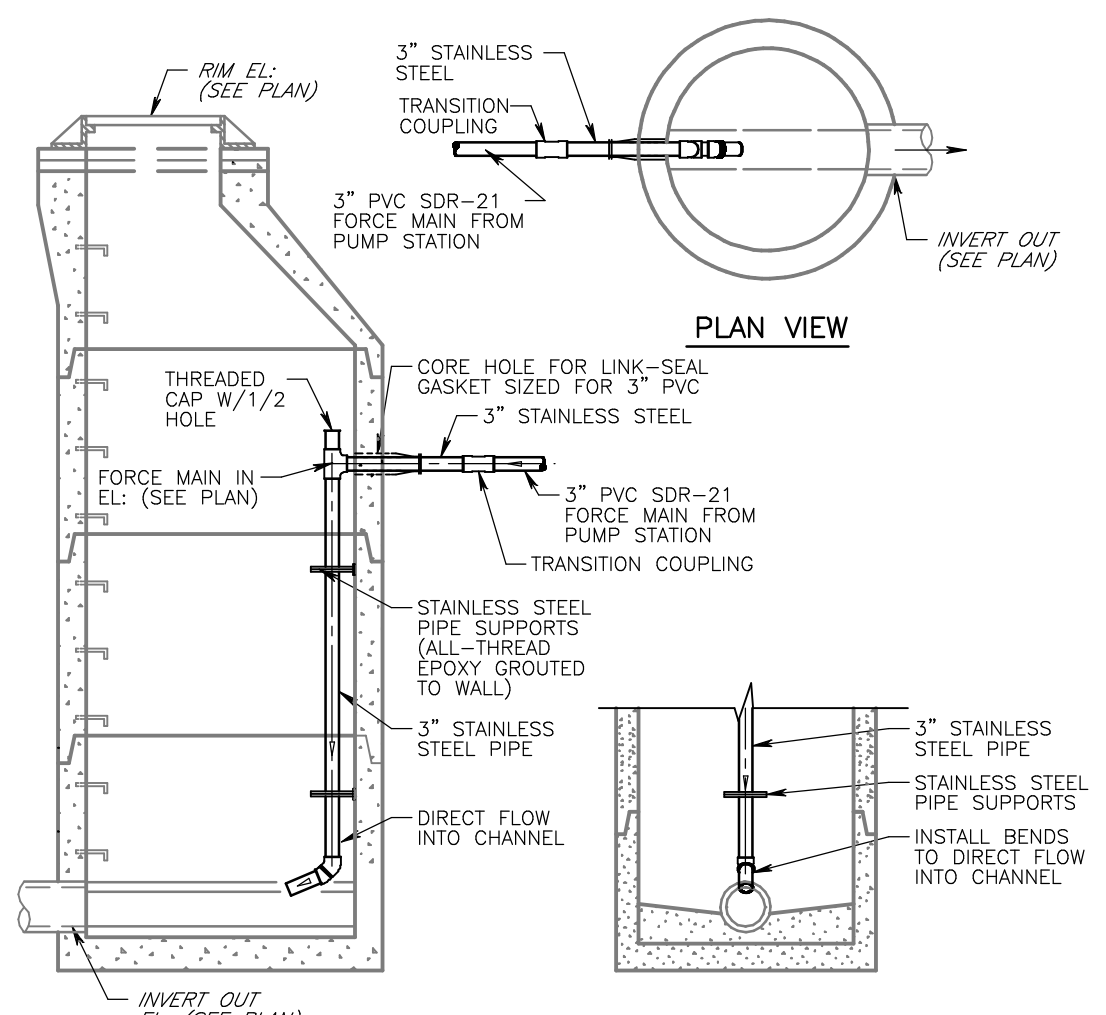
- THE BEARING SURFACE(S) OF THE CONCRETE THRUST BLOCK MUST BEAR AGAINST UNDISTURBED EARTH. THE BEARING AREA PROVIDED MUST BE IN ACCORDANCE WITH THE TABLE FOR DESIGNATED THRUST BLOCKS.
- THE CONCRETE THRUST BLOCK MUST EXTEND FROM BELL TO BELL ON FITTINGS BUT MUST NOT INTERFERE WITH ACCESS TO THE FITTING JOINTS.
- WHEN BEARING SURFACE IS GREATER THAN 10 SQ. FT., THRUST BLOCK SHALL INCLUDE REINFORCEMENT PARALLEL TO EACH BEARING SURFACE AS SHOWN IN THE DETAIL. ALL REINFORCEMENT BARS SHALL BE DEFORMED BARS, U-SHAPED AROUND PIPE.
- ALL FITTINGS AND JOINTS SHALL BE ENVELOPED WITH 8 mil POLYETHYLENE FILM BEFORE PLACING CONCRETE.
- PAIN ALL EXPOSED STEEL WITH 2 COATS OF VALDURA PAINT OR APPROVED EQUAL.

| PIPE SIZE | 2" | | | | 4" | | | | 6" | | | | 8" | | | |
|--|-----|-------|------|-----|-----|------|-------|------|-----|------|------|-------|------|------|------|------|
| | TEE | 11.25 | 22.5 | 45 | 90 | TEE | 11.25 | 22.5 | 45 | 90 | TEE | 11.25 | 22.5 | 45 | 90 | |
| TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS | | | | | | | | | | | | | | | | |
| LOOSE SAND | 2.7 | 0.5 | 1.0 | 2.0 | 3.8 | 10.5 | 2.1 | 4.1 | 8.0 | 14.9 | 23.3 | 4.6 | 9.1 | 17.8 | 32.8 | 40.7 |
| DENSE SAND | 1.2 | - | 0.5 | 0.9 | 1.6 | 4.5 | 0.9 | 1.8 | 3.5 | 6.4 | 10.0 | 2.0 | 3.9 | 7.7 | 14.2 | 17.5 |
| SOFT CLAY (500 PSF) | 0.7 | - | - | 0.6 | 1.0 | 2.9 | 0.6 | 1.1 | 2.2 | 4.1 | 6.5 | 1.3 | 2.5 | 4.9 | 9.1 | 11.4 |
| STIFF CLAY (1 TON/5F) | - | - | - | - | 1.0 | - | - | 0.8 | 1.5 | 2.3 | 0.5 | 0.9 | 1.8 | 3.3 | 4.2 | 0.8 |
| SOFT ROCK (5 TON/5F) | - | - | - | - | 0.8 | - | - | 0.8 | 1.3 | - | 0.5 | 1.0 | 1.8 | 2.3 | - | 0.9 |
| HARD ROCK (20 TON/5F) | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | 0.8 |

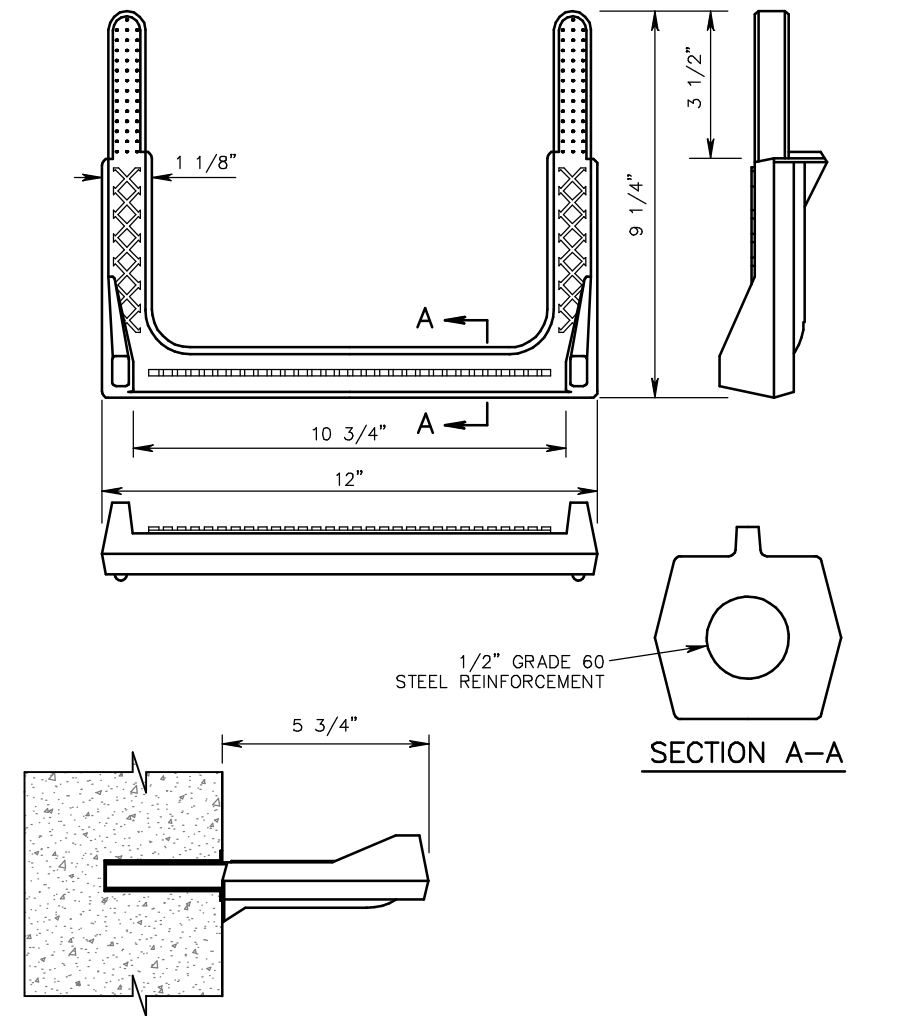
NOTE: ALL AREAS IN SQUARE FEET



STANDARD WATER PIPE BEDDING DETAIL
Not To Scale

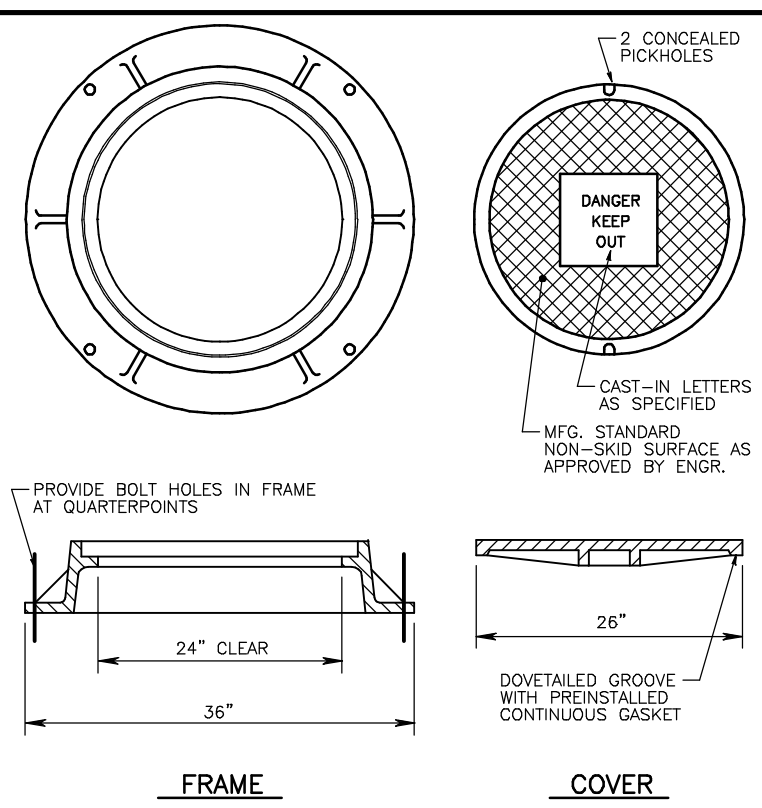


FORCE MAIN TO MANHOLE CONNECTION DETAIL
Not To Scale



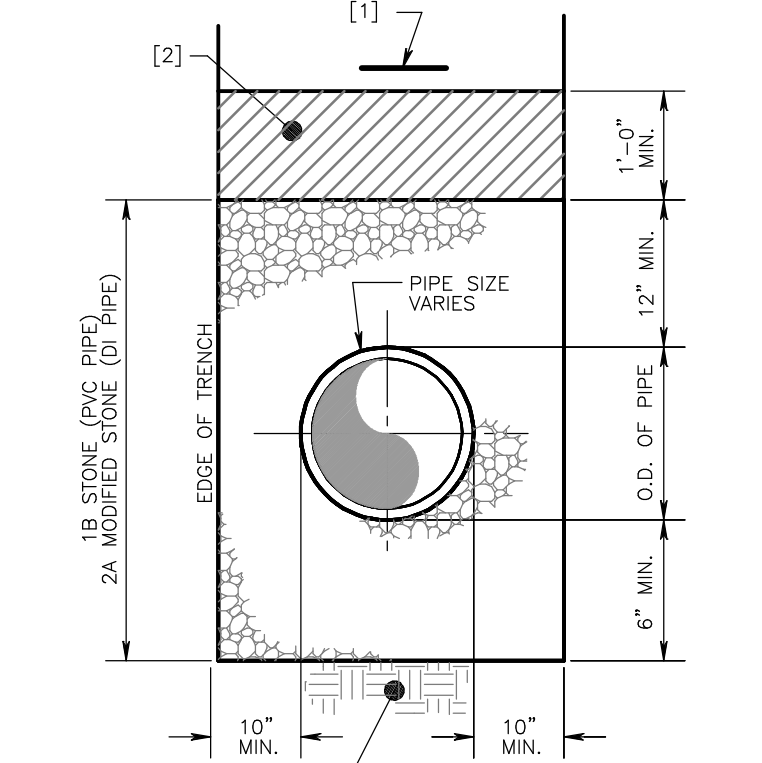
POLYPROPYLENE MANHOLE STEPS
Not To Scale

NOTE: STEPS TO BE FABRICATED FROM COPOLYMER POLYPROPYLENE PLASTIC



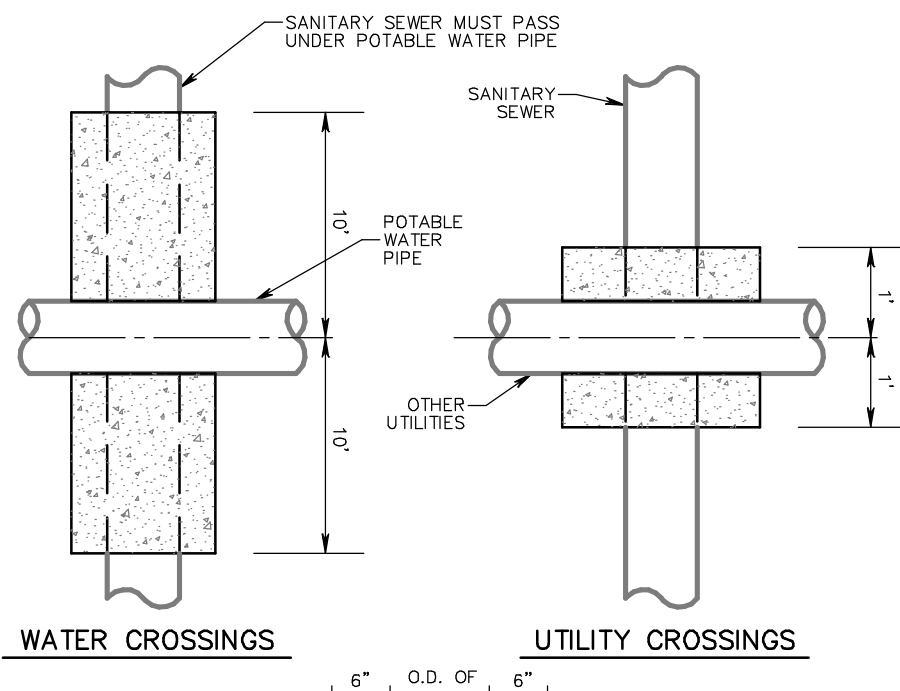
STANDARD MANHOLE FRAME and COVER
Not To Scale

- NOTES:
- MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY COMPANY MODEL R-164X WITH SELF-SEALING GASKET TYPE COVER OR APPROVED EQUAL.
 - ALL MATERIAL SHALL BE GRAY CAST IRON, ASTM A48-83 CL35
 - CASTINGS SHALL BE DESIGNED FOR AASHTO HIGHWAY LOADING CLASS HS-20
 - PROVIDE FOUR (4) ANCHOR BOLT HOLES IN FRAME TO ACCOMMODATE 3/4" ANCHOR BOLTS
 - COVER SHALL HAVE THE WORDS "DANGER KEEP OUT" OR "SANITARY SEWER" CAST THEREON

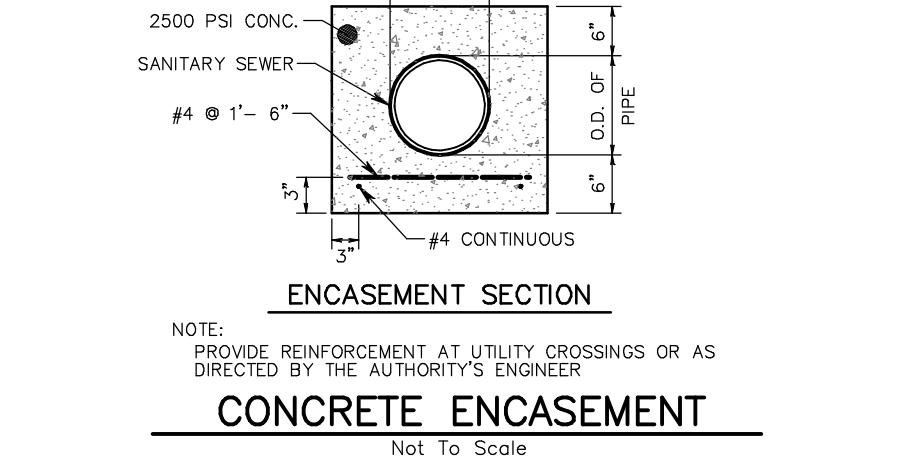


STANDARD SANITARY SEWER PIPE BEDDING DETAIL
Not To Scale

- NOTES:
- TRACER WIRE OR LOCATOR WIRE TO BE INSTALLED ABOVE THE PROPOSED SANITARY FORCE MAIN & GRAVITY MAIN.
 - HAND TAMPED BACKFILL AS SPECIFIED. (2A MODIFIED STONE UNDER ALL EXISTING ROADWAYS, DRIVEWAYS & PARKING LOTS), OTHERWISE SELECT BACKFILL.

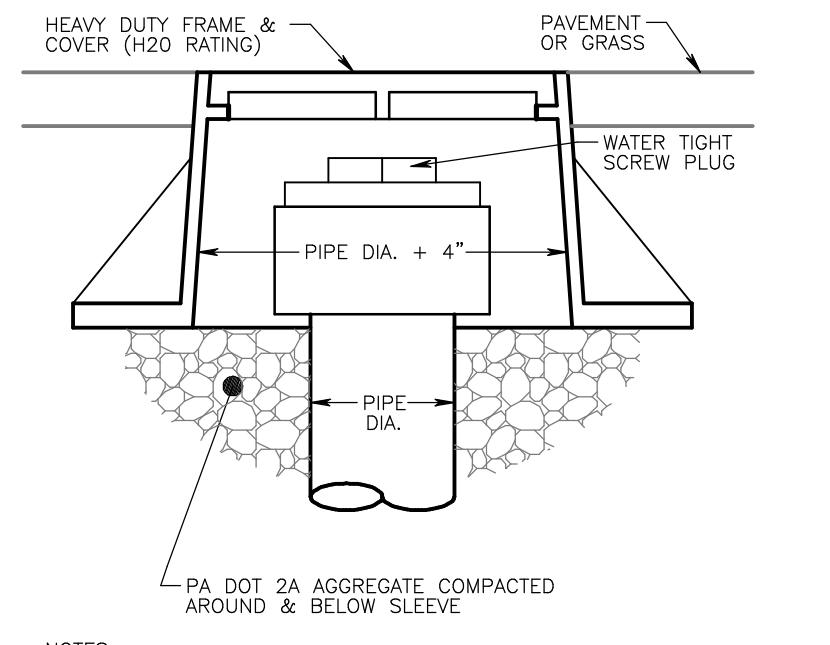


WATER CROSSINGS UTILITY CROSSINGS



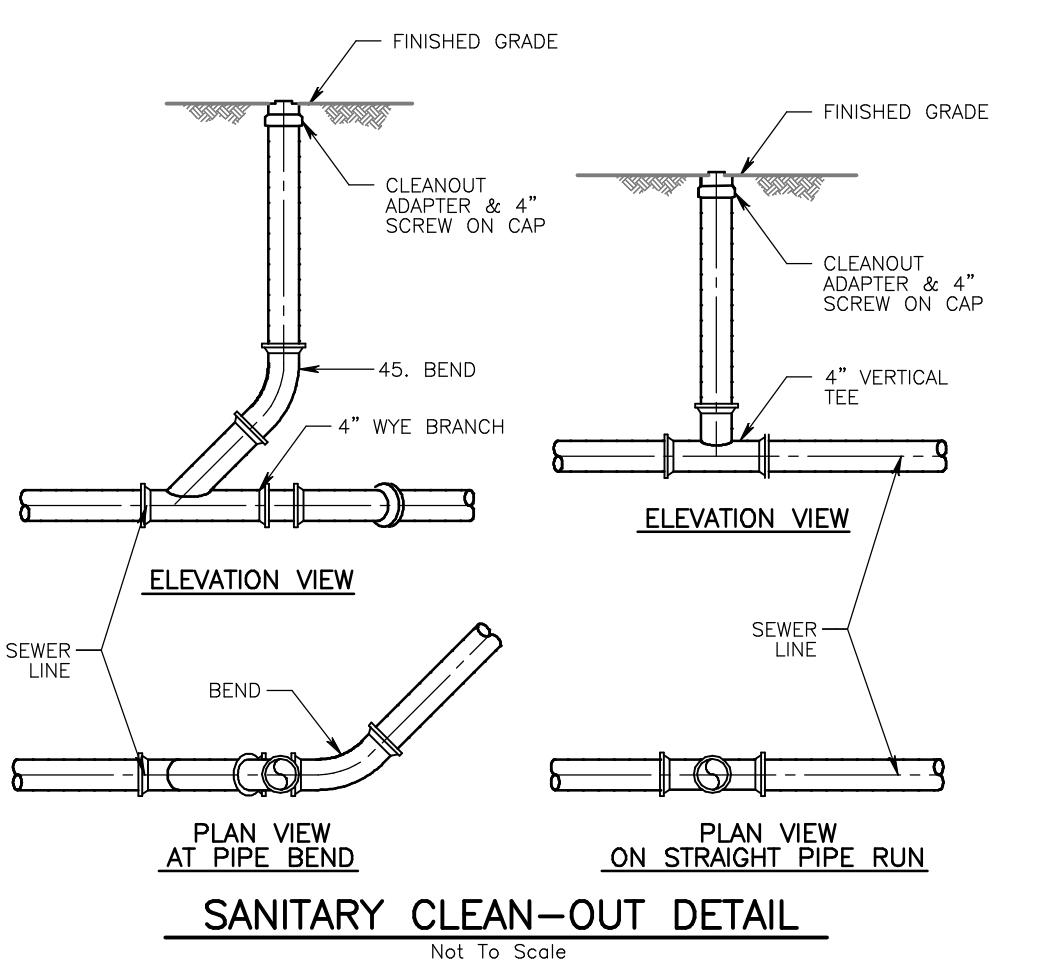
CONCRETE ENCASEMENT
Not To Scale

NOTE: PROVIDE REINFORCEMENT AT UTILITY CROSSINGS OR AS DIRECTED BY THE AUTHORITY'S ENGINEER

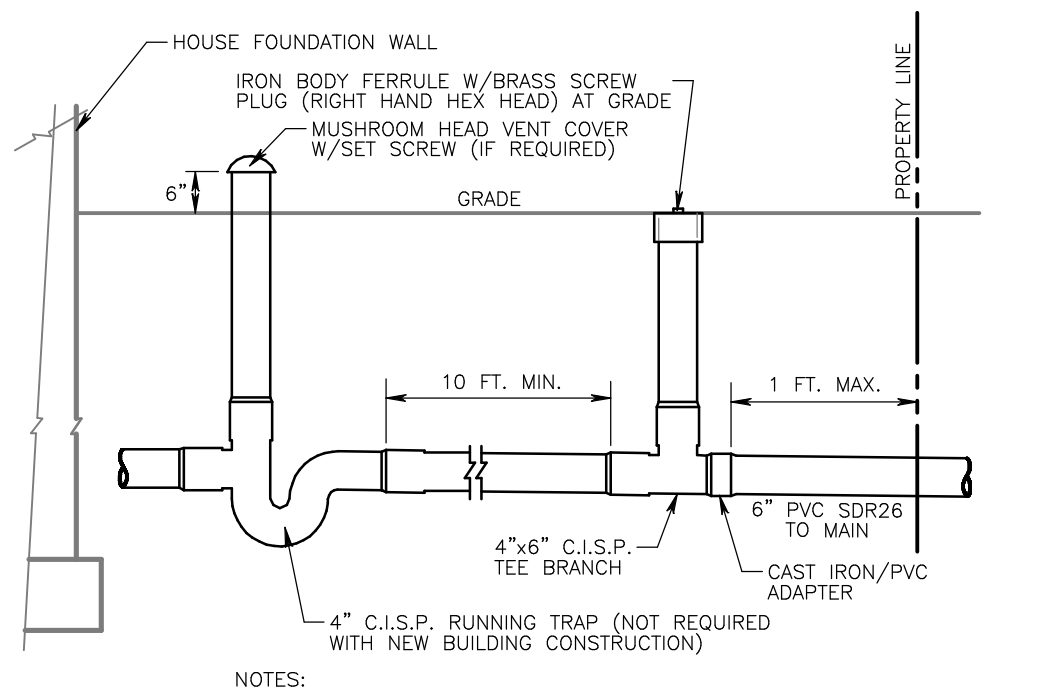


CLEAN-OUT PROTECTIVE SLEEVE
Not To Scale

- NOTES:
- FRAME AND COVER SHALL BE NEENAH FOUNDRY COMPANY MODEL R-1976 OR APPROVED EQUAL.
 - CLEAN-OUT PROTECTION SLEEVES ARE TO BE INSTALLED AT LOCATIONS IN PAVED AREAS OR LESS THAN 3 FEET FROM A PAVED AREA.

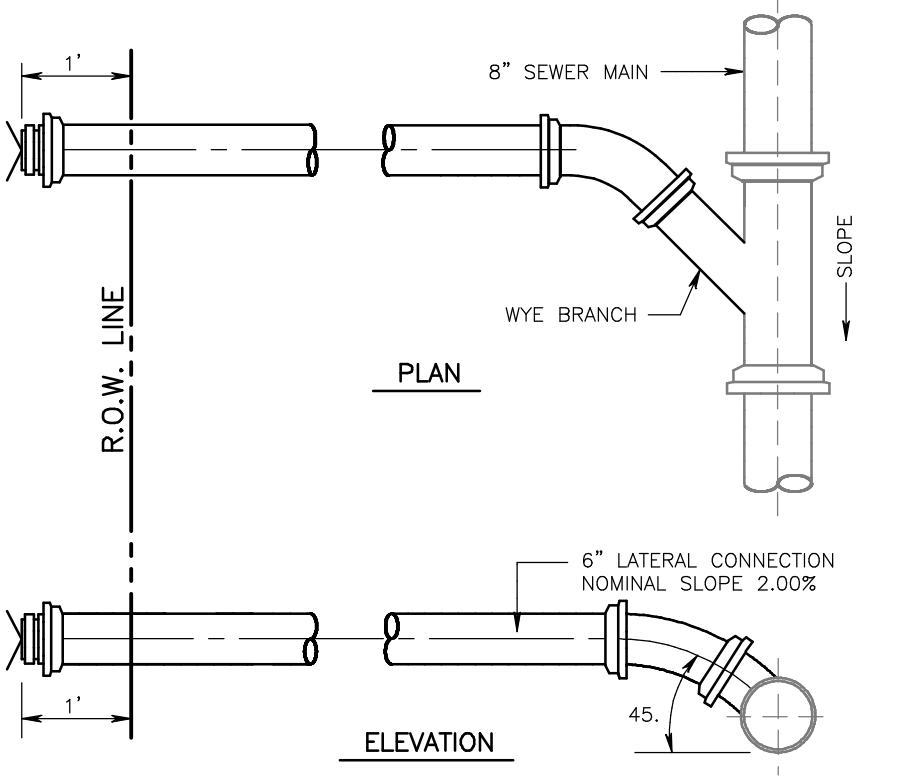


SANITARY CLEAN-OUT DETAIL
Not To Scale



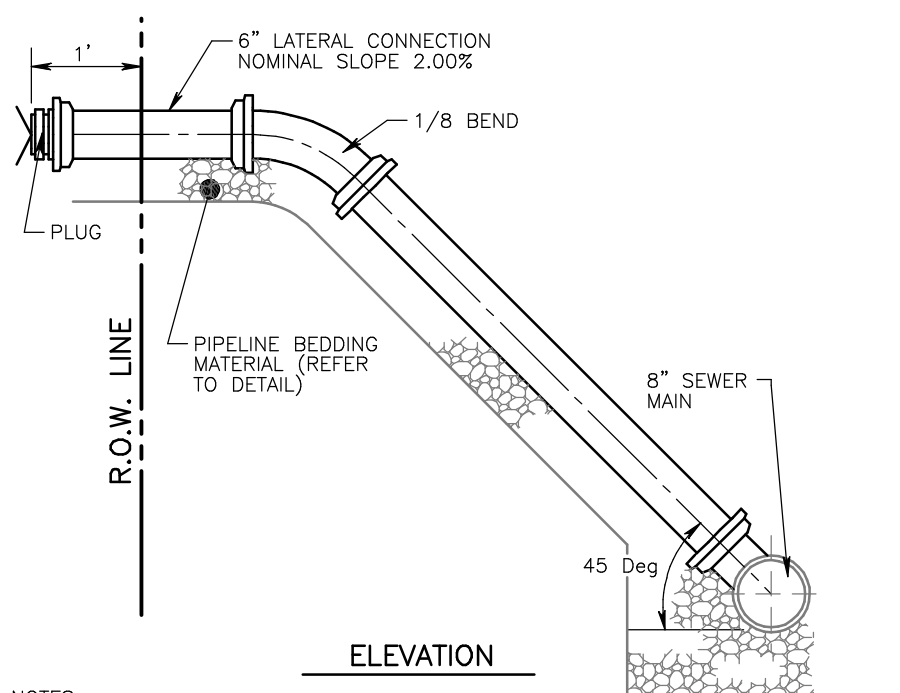
TYPICAL SERVICE CONNECTION at BUILDING FOR PVC LATERAL
Not To Scale

- NOTES:
- BUILDING SEWER PIPE AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON SOIL PIPE (PSM 4-17)
 - LOCATE CLEANOUTS AND VENTS IN UNPAVED AREAS.



SHALLOW SEWER LATERAL CONNECTION
Not To Scale

NOTE: PROVIDE 6" LATERAL CONNECTION FROM MAIN TO CLEAN-OUT PLACED 1'-FT. OUTSIDE ROW, THEN 4" TO DWELLING CONNECTION.



DEEP SEWER LATERAL CONNECTION
Not To Scale

NOTE: PROVIDE 6" LATERAL CONNECTION FROM MAIN TO CLEAN-OUT PLACED 1'-FT. OUTSIDE ROW, THEN 4" TO DWELLING CONNECTION.

| NO. | REVISIONS |
|-----|-----------|
| | |
| | |

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 86
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)

CONSTRUCTION DETAILS - Sheet 'C'

7111 SHEAFF LANE
WHEATMARK TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-3949 Web: www.woodrowinc.com

Layer List:
SH17-21-DETAIL

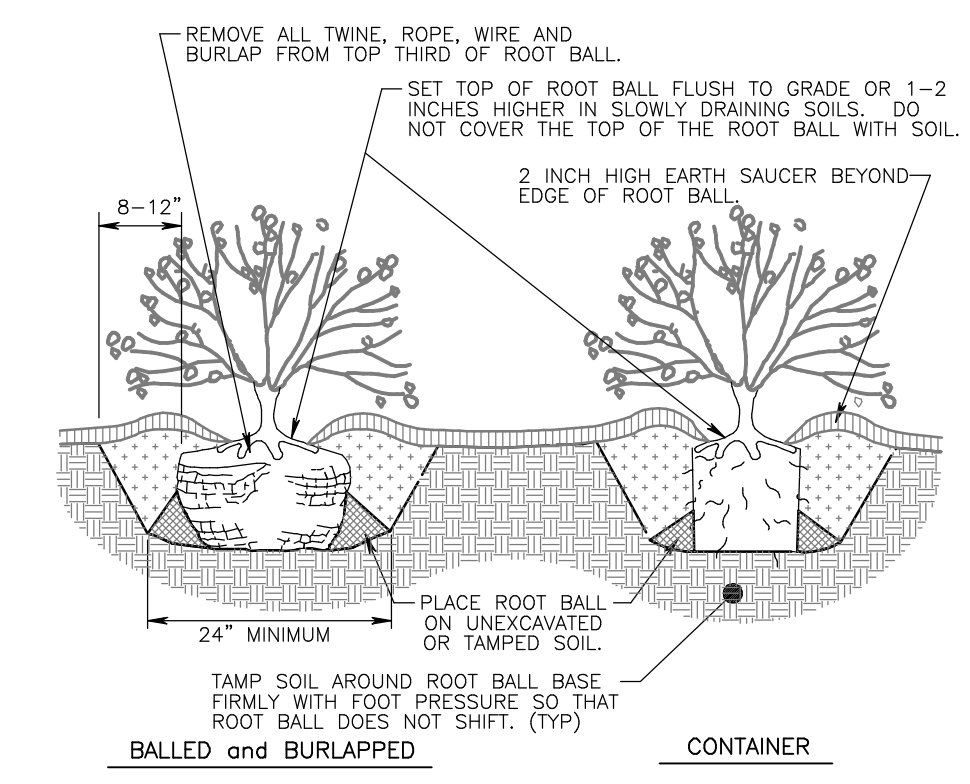
Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

Sheet No:
19 of 38

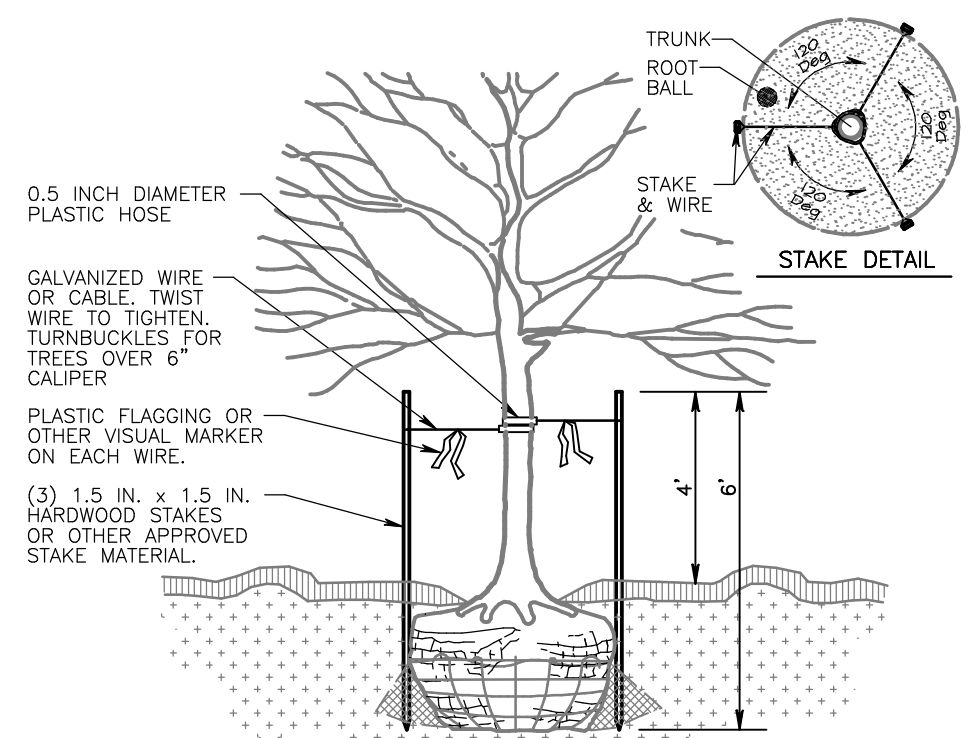
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Plot Date: Nov 17, 2021 (13:32)
 File Name: 20210320_01032021.dwg
 User: jay



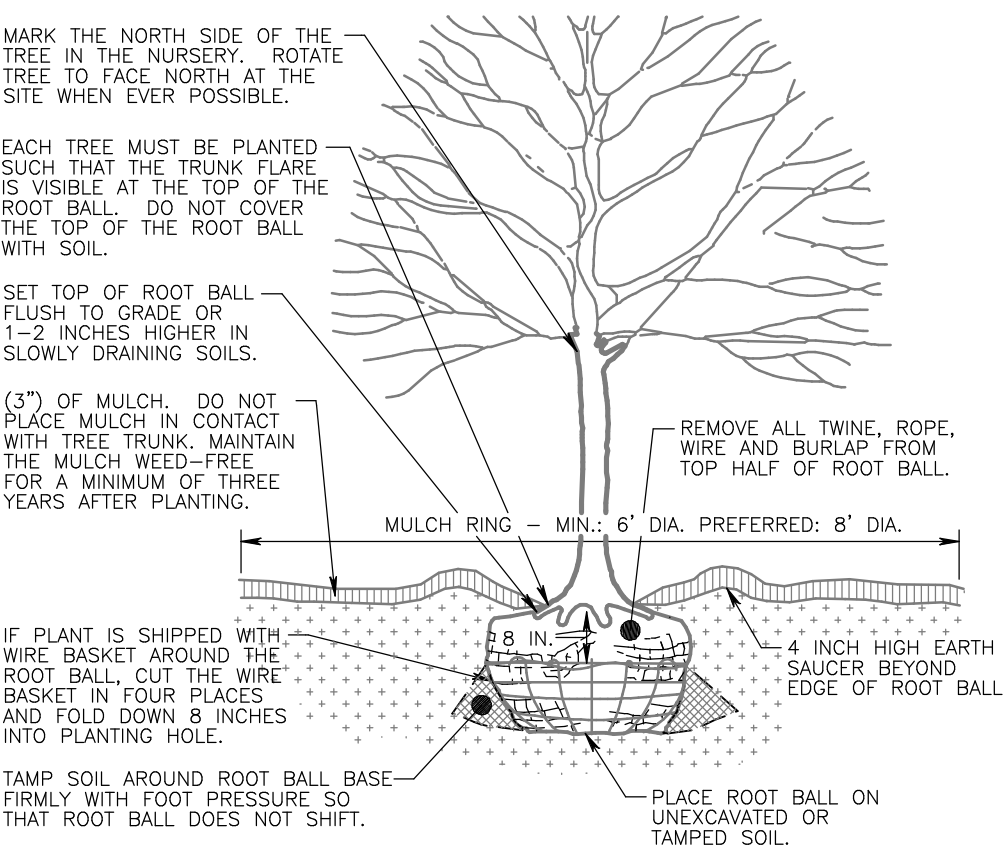
- THREE INCHES (3") OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.
- PLANTS WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- PLANTS THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS FOR THEIR SPECIES SHALL BE REJECTED.
- DO NOT HEAVILY PRUNE THE SHRUBS AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

DECIDUOUS & EVERGREEN SHRUB DETAIL
 Not To Scale



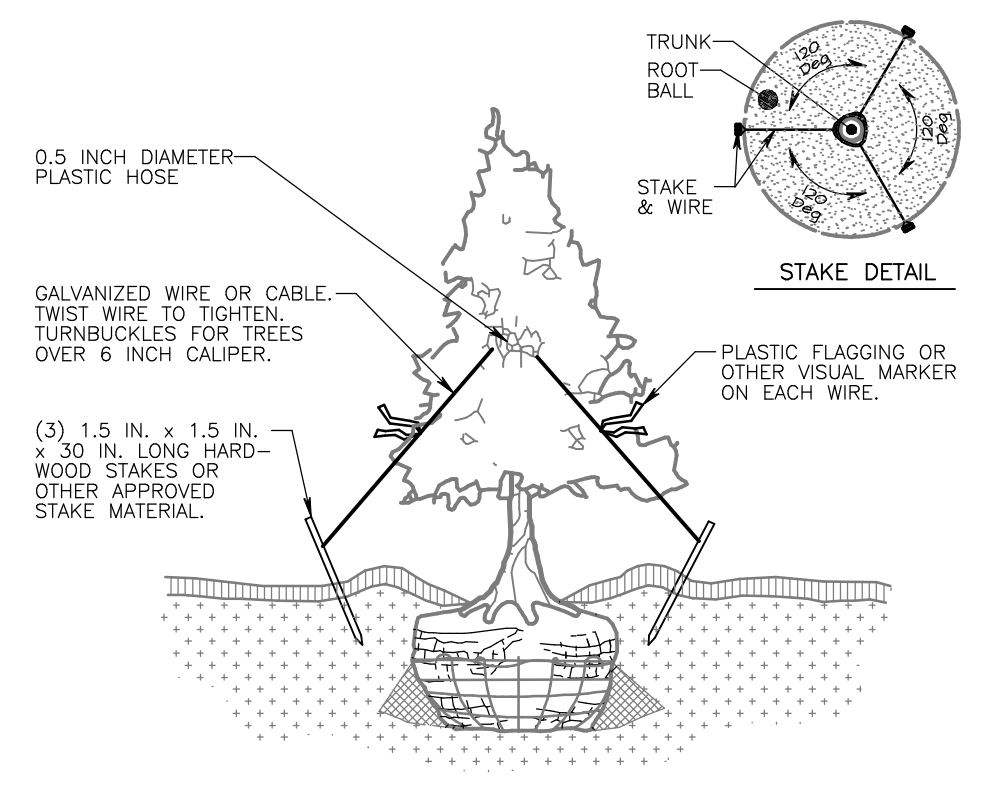
- TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.
- ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.
- ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM 0.5 INCH.
- REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON.
- WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
 TREES UP TO 2.5 INCH CALIPER - 14 GAUGE
 TREES 2.5 INCH CALIPER & OVER - 12 GAUGE
- TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF TRUNK MOVEMENT.
- TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

DECIDUOUS TREE STAKING DETAIL
 Not To Scale



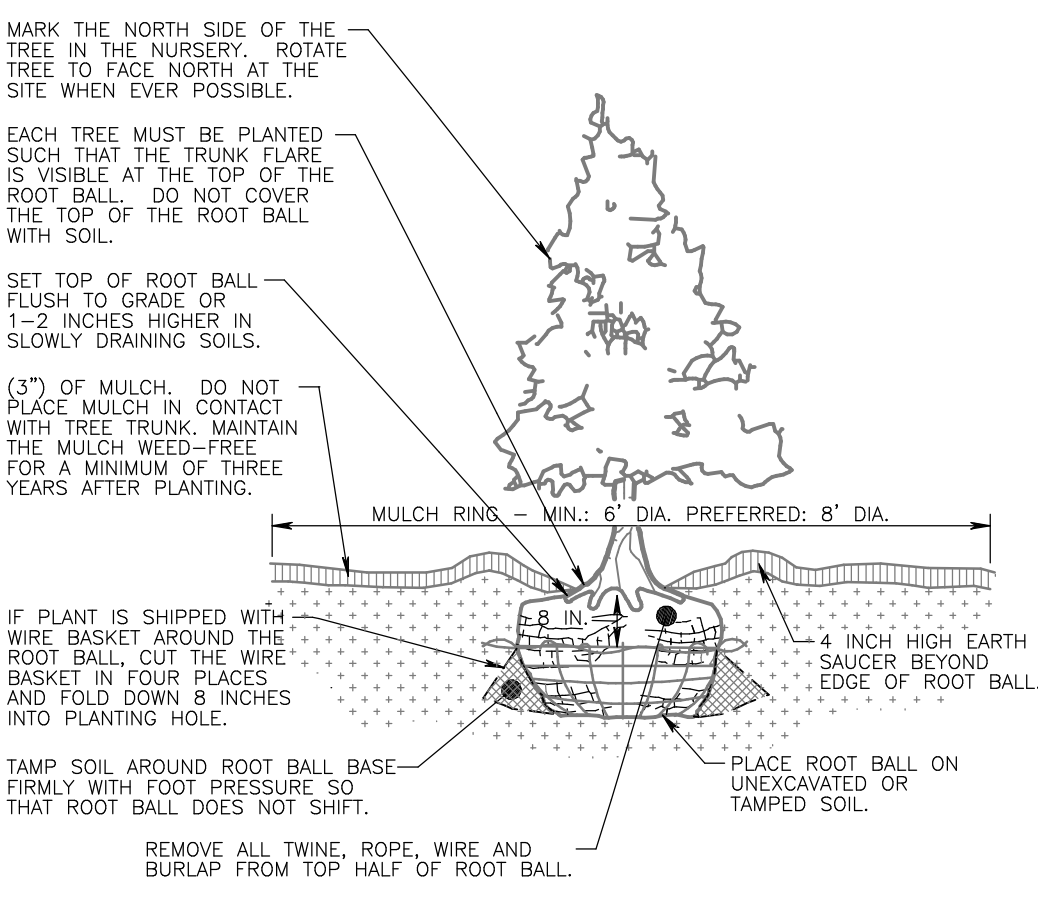
- TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON APPROVAL FROM THE LANDSCAPE ARCHITECT. (SEE STAKING DETAIL AS APPROPRIATE)
- REPLENISHMENT OF MULCH IS ONLY TO REPLACE MULCH LOST. MULCH DEPTH TO BE 3" MAXIMUM AND NOT INCREASED WITH ADDITIONAL LAYERS OF MULCH.

DECIDUOUS TREE PLANTING DETAIL
 Not To Scale



- ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.
- ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM 0.5 INCH.
- REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON.
- TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.
- WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
 TREES UP TO 2.5 INCH CALIPER - 14 GAUGE
 TREES 2.5 INCH TO 3 INCH CALIPER - 12 GAUGE
- TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF TRUNK MOVEMENT.
- TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

EVERGREEN TREE STAKING DETAIL
 Not To Scale



- TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON APPROVAL FROM THE LANDSCAPE ARCHITECT. (SEE STAKING DETAIL AS APPROPRIATE)
- REPLENISHMENT OF MULCH IS ONLY TO REPLACE MULCH LOST. MULCH DEPTH TO BE 3" MAXIMUM AND NOT INCREASED WITH ADDITIONAL LAYERS OF MULCH.

EVERGREEN TREE PLANTING DETAIL
 Not To Scale

| NO. | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS | | |

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
 2021 1120944
 April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
 TP: 65-00-10651-50-7
 Block 49, Unit 86
 7111 Sheaff Lane
 TP: 65-00-10611-50-2
 Block 49, Unit 94
 Sheaff Lane
 TP: 65-00-10612-60-9
 Block 49, Unit 106
 7129 Sheaff Lane

Deed Area: 51.6444 Ac.
 Private Lane: 0.3159 Ac.
 Util. RW: 0.4083 Ac.
 NET Area: 50.9202 Ac.

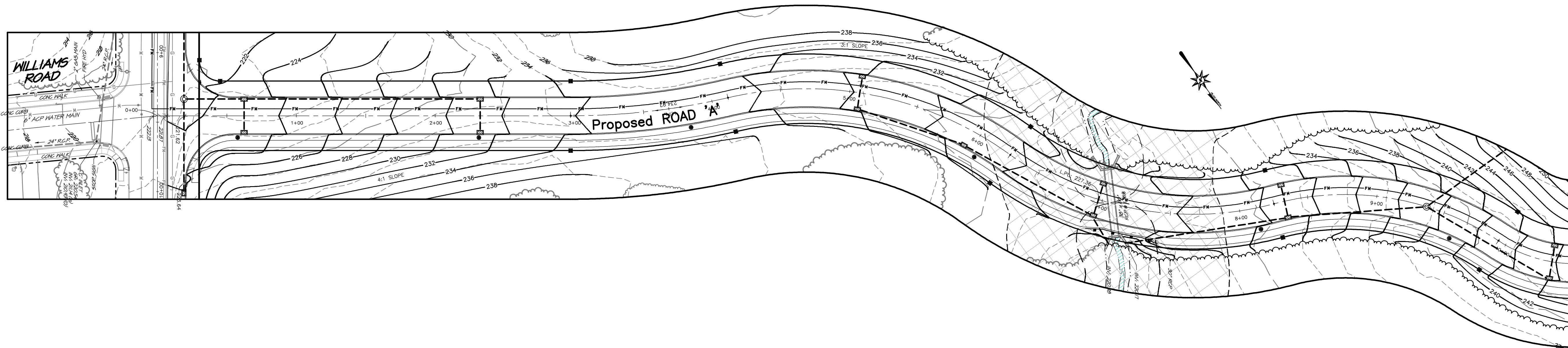
Applicant:
7111 Sheaff Lane Partners, LLC
 c/o Mr. Sal Poone, VP
 1120 N. Bethlehem Pike
 Spring House, PA 19477
 (215) 542-1331

Scale in Feet (1" = 40')

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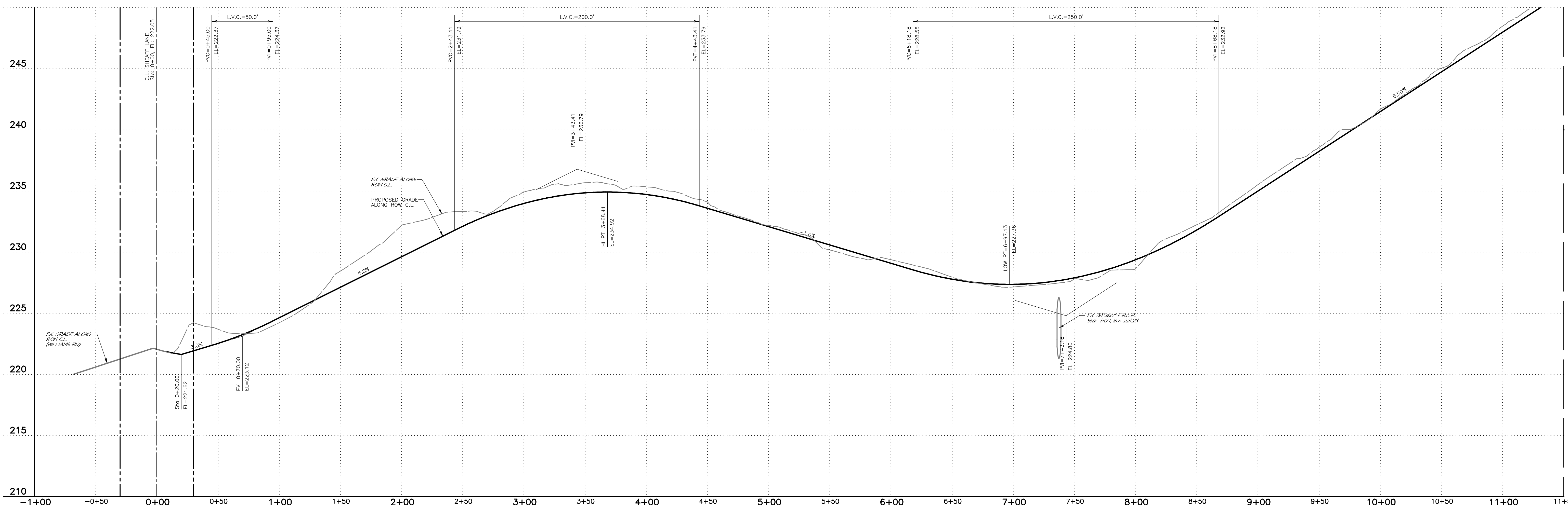
PRELIMINARY PLAN (Not To Be Recorded)
CONSTRUCTION DETAILS - Sheet 'D'
 7111 SHEAFF LANE
 WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
 Phone: (215) 542-3040 Web: www.woodrowinc.com

Layer List:
 SH17-21_DETAIL
 Job No:
 20-1013 D
 Plan Date:
 NOV. 17, 2021
 Sheet No:



PLAN VIEW: PROPOSED ROAD 'A'

Scale: 1" = 40'-0" Horizontal



PROFILE VIEW: PROPOSED ROAD 'A'

Scale: 1" = 40'-0" Horizontal
1" = 4'-0" Vertical

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Pennsylvania 811

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale In Feet (1" = 40')

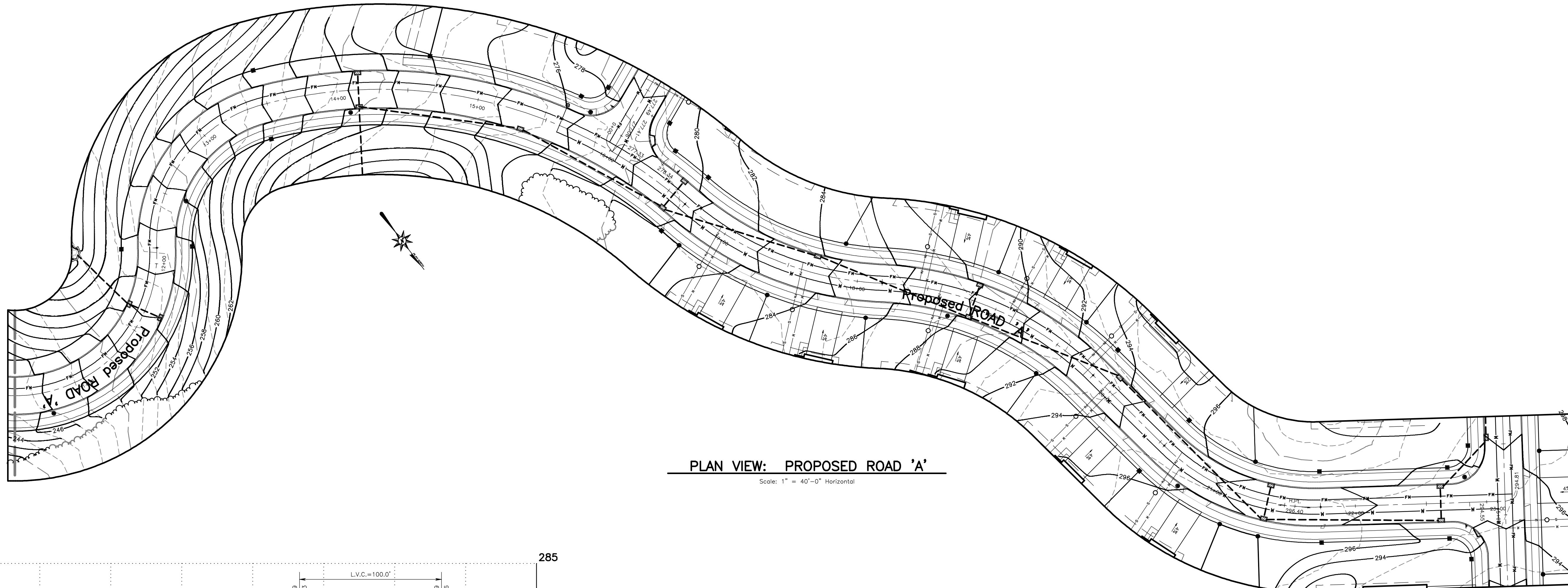
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PRELIMINARY PLAN (Not To Be Recorded)
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gateway - PA 19002
Phone: (215) 542-3949 Web: www.woodrowinc.com

Layer List:
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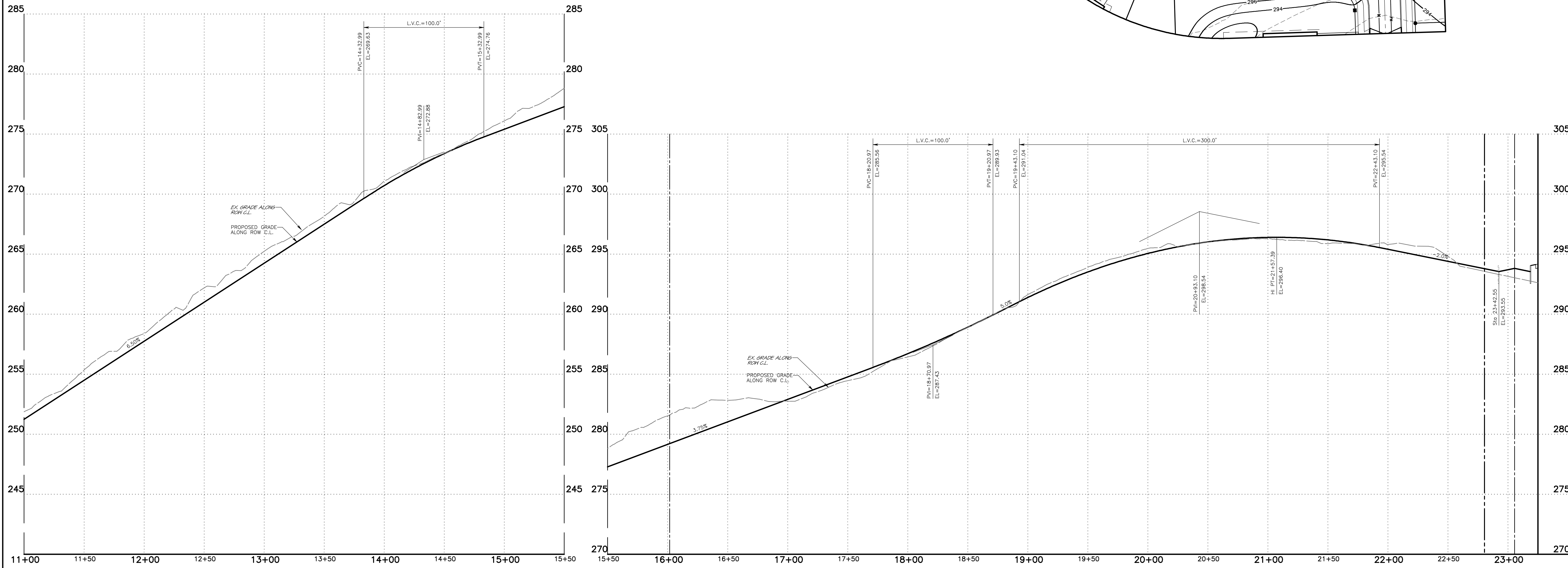
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Plan Date: NOV. 17, 2021
Sheet No: 2B of 38

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File Number: 20-1013-04



PLAN VIEW: PROPOSED ROAD 'A'

Scale: 1" = 40'-0" Horizontal



PROFILE VIEW: PROPOSED ROAD 'A'

Scale: 1" = 40'-0" Horizontal
1" = 4'-0" Vertical

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

REVISIONS

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
7111 Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane
Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)
PLAND and PROFILE:
PROPOSED ROAD 'A'
7111 SHEAFF LANE
WHITEMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com



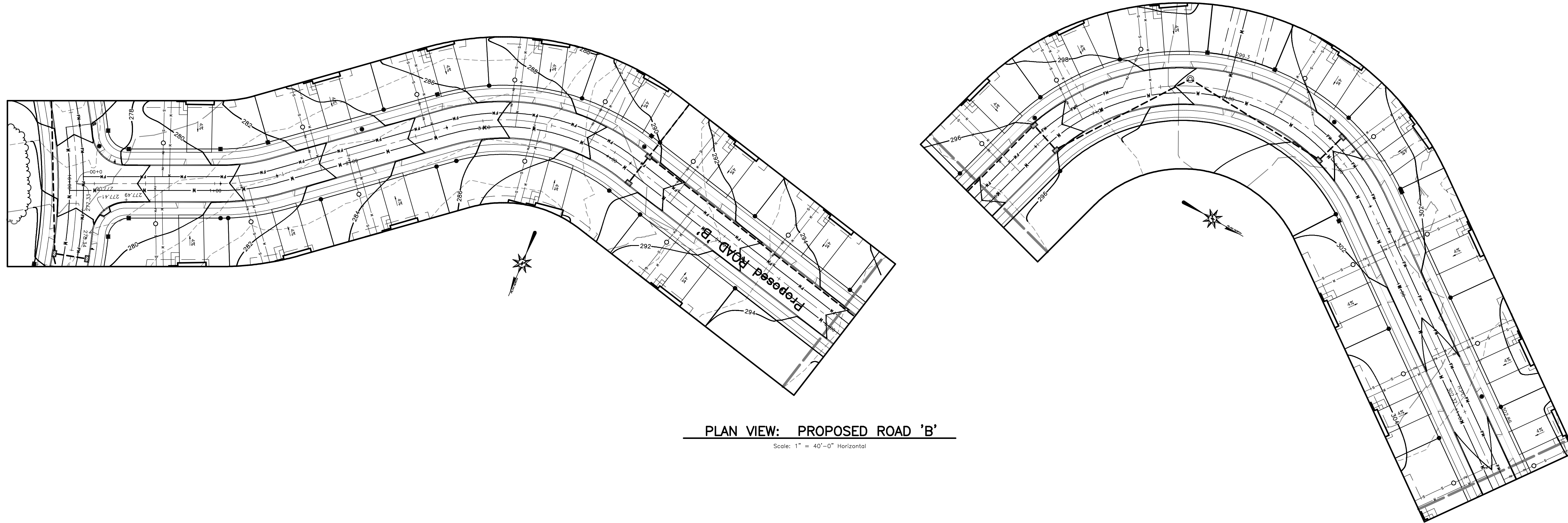
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Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

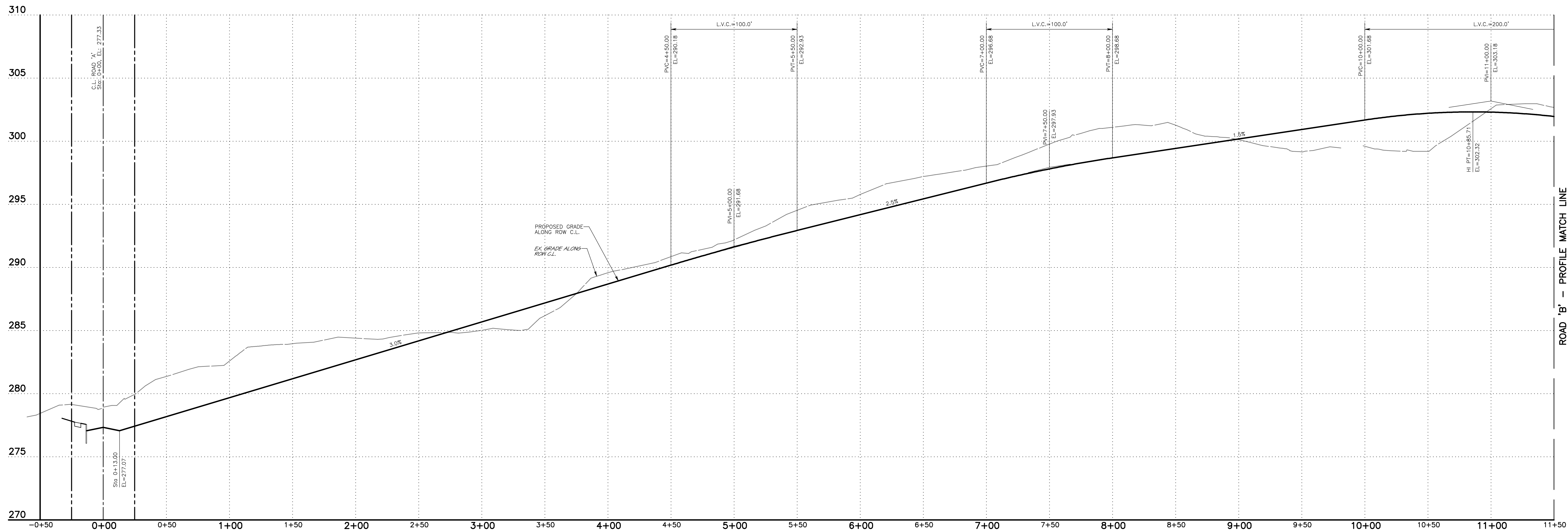
Sheet No:
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Print Date: Nov 17, 2021 (3:32)
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PLAN VIEW: PROPOSED ROAD 'B'

Scale: 1" = 40'-0" Horizontal



PROFILE VIEW: PROPOSED ROAD 'B'

Scale: 1" = 40'-0" Horizontal
1" = 4'-0" Vertical

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

REVISIONS

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021-1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 85-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 85-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 85-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane
Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

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PRELIMINARY PLAN (Not To Be Recorded)
PLAN and PROFILE:
PROPOSED ROAD 'B'
7111 SHEAFF LANE
WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

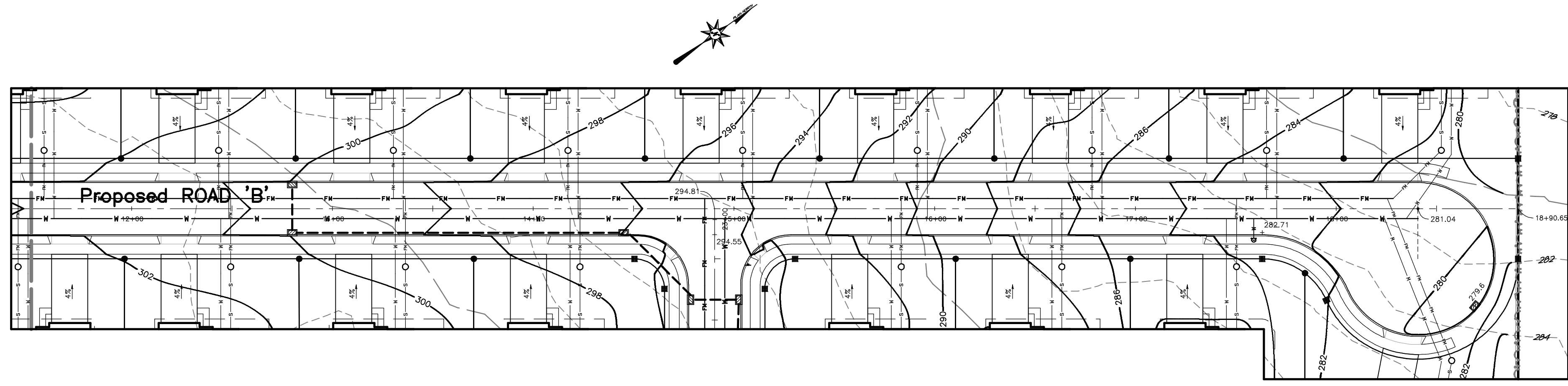
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Job No:
20-1013 D

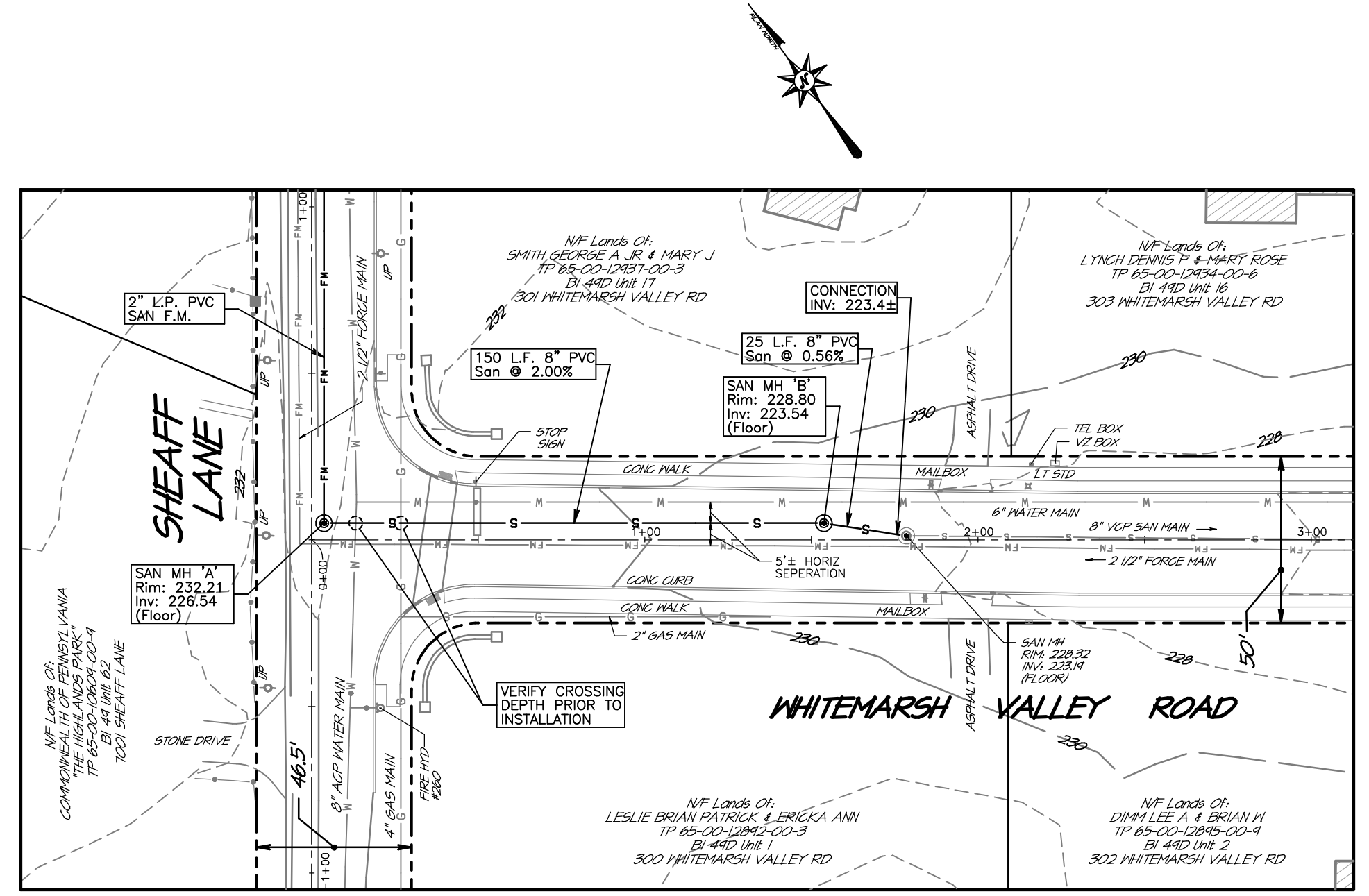
Plan Date:
NOV. 17, 2021

Sheet No:
23 of 38

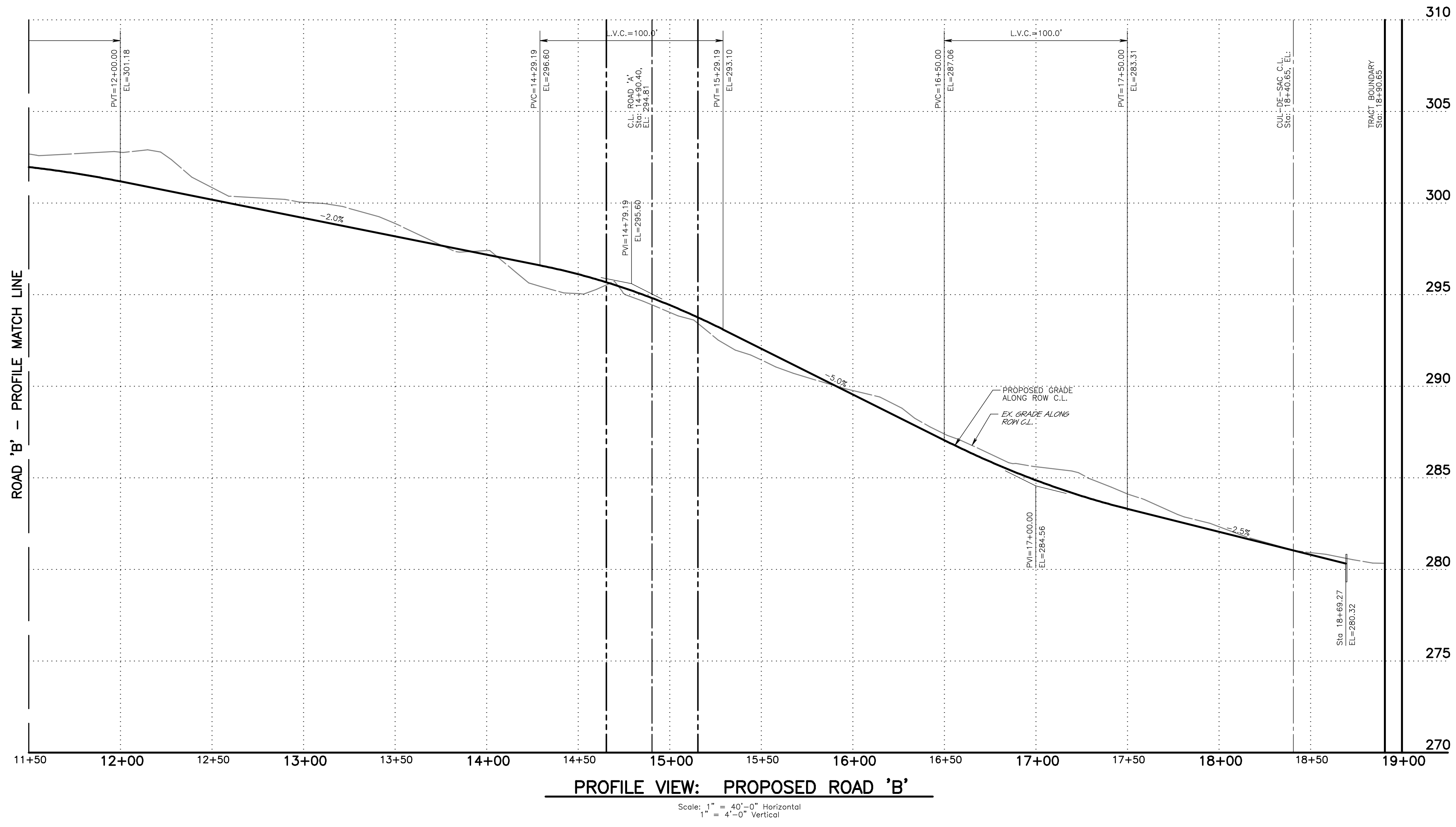
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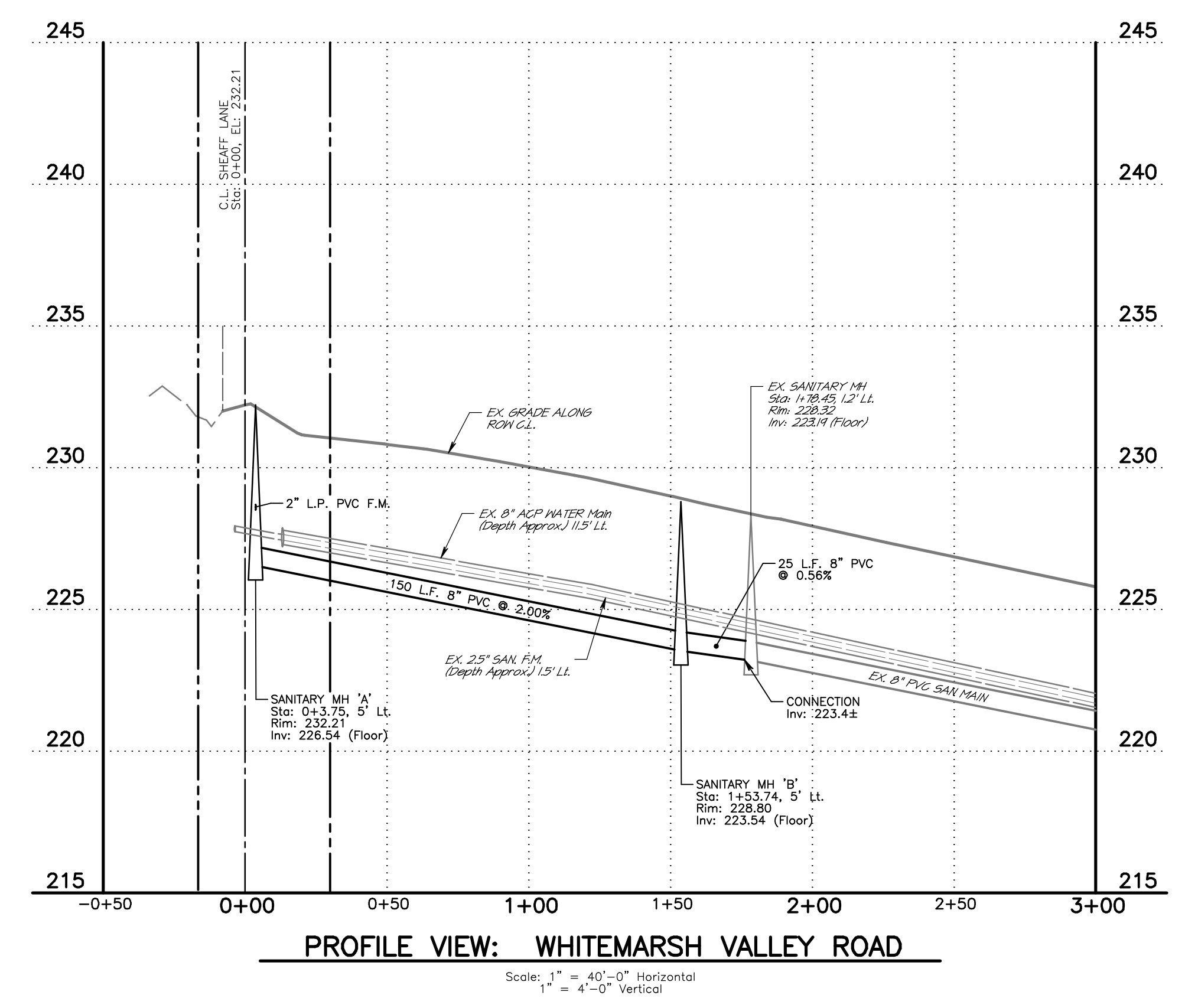
PLAN VIEW: PROPOSED ROAD 'B'
Scale: 1" = 40'-0" Horizontal



PLAN VIEW: WHITMARSH VALLEY ROAD
Scale: 1" = 40'-0" Horizontal



PROFILE VIEW: PROPOSED ROAD 'B'
Scale: 1" = 40'-0" Horizontal
1" = 4'-0" Vertical



PROFILE VIEW: WHITMARSH VALLEY ROAD
Scale: 1" = 40'-0" Horizontal
1" = 4'-0" Vertical

| NO. | DATE | DESCRIPTION |
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REVISIONS

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

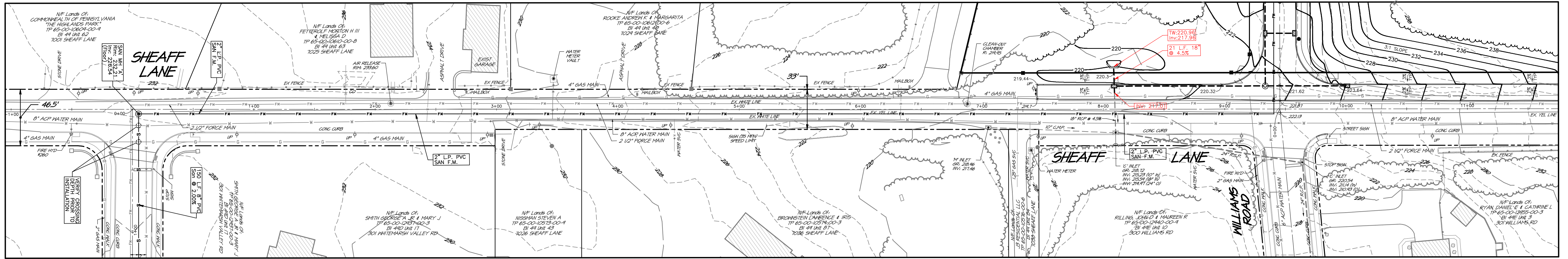
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PRELIMINARY PLAN (Not To Be Recorded)
PLAND and PROFILE:
PROPOSED ROAD 'B' & W.V. ROAD
7111 SHEAFF LANE
WHITMARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-1331 Web: www.woodrowinc.com

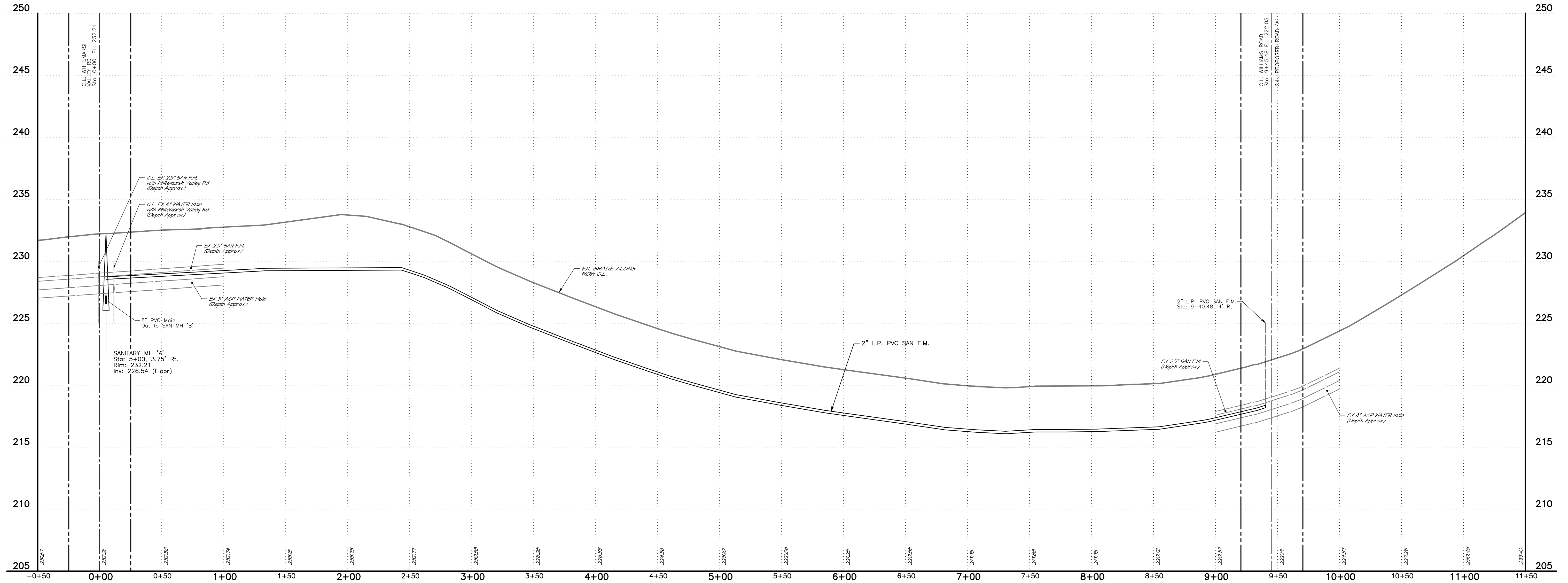
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20-1013 D
Plan Date:
NOV. 2021
Sheet No:

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File Name: 20-1013-01.dwg



PLAN VIEW: SHEAFF LANE

Scale: 1" = 40'-0" Horizontal



PROFILE VIEW: SHEAFF LANE

Scale: 1" = 40'-0" Horizontal
1" = 4'-0" Vertical

| NO. | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS | | |

SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2021 1120944
April 22, 2021

Parcel Information:
7111 Sheaff Lane Partners, LLC.
TP: 65-00-10651-50-7
Block 49, Unit 88
7111 Sheaff Lane
TP: 65-00-10611-50-2
Block 49, Unit 94
Sheaff Lane
TP: 65-00-10612-60-9
Block 49, Unit 106
7129 Sheaff Lane

Deed Area: 51.6444 Ac.
Private Lane: 0.3159 Ac.
Util. RW: 0.4083 Ac.
NET Area: 50.9202 Ac.

Applicant:
7111 Sheaff Lane Partners, LLC
c/o Mr. Sal Poone, VP
1120 N. Bethlehem Pike
Spring House, PA 19477
(215) 542-1331

Scale in Feet (1" = 40')

PRELIMINARY PLAN (Not To Be Recorded)
**PLAN and PROFILE:
SHEAFF LANE
7111 SHEAFF LANE**
WHITE MARSH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-3648 Web: www.woodrowinc.com

Layer List:
Sh21-25_Profile

Job No:
20-1013 D

Plan Date:
NOV. 17, 2021

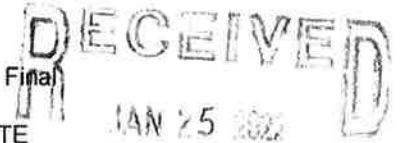
Sheet No:
25 of 38

Print Date: Nov 17, 2021 (3:32)
File Name: C:\2020\20-1013\20-1013.dwg
Plot Scale: 1" = 40.00'

**WHITEMARSH TOWNSHIP
SUBDIVISION and/or LAND DEVELOPMENT APPLICATION**

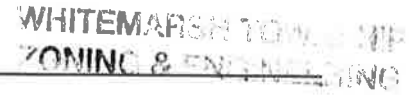
The applicant, or applicant's authorized agent, for the Township to accept submission of the application, must complete each Application item and each Application Submission Checklist item.

Application Type: (check one) Minor Subdivision Minor Land Development
 Major Subdivision Major Land Development
 Land Development Waiver
Plan Type: Sketch Preliminary Final



INSERT "N/A" FOR NOT APPLICABLE WHERE APPROPRIATE

Name of Subdivision/Land Development: 7111 Sheaff Lane



Location of Subdivision/Land Development: 7111 Sheaff Lane
(Primary Access Roadway Name)

Between: Morris Road and Skippack Pike (Route 73)
(Roadway Name) (Roadway Name)

Number of Parcels: 3 Block Number(s): 49 Unit Number(s): 88, 94, 106

Parcel Number(s): 65-00-10651-50-7, 65-00-10611-50-2, 65-00-10612-60-9

Acreage: 50.9202 Total Lots Proposed: 46 Zoning District: AAA Residential

Water Service Proposed: Public Private Sewer Service Proposed: Public Private

Applicant Name: 7111 Sheaff Lane Partners, LLC Contact Name: Salvatore Paone

Phone #: 215-542-1331 Fax #: _____ Email: sjpaone@salpaonebuilder.com

Address: 1120 N. Bethlehem Pike, P.O. Box 280, Spring House, PA 19477

Owner of Record Name (If Different): _____

Phone #: _____ Fax #: _____ Email: _____

Address: _____

Engineer Name: Timothy P. Woodrow, P.E. Firm Name: Woodrow & Associates, Inc.

Phone #: 215-542-5648 Fax #: 215-542-5679 Email: twoodrow@woodrowinc.com

Address: 1108 N. Bethlehem Pike, Suite 5, Lower Gwynedd, PA 19002

Fees and plans showing all public improvements are submitted with this application. Any additional plan information required by the Township Engineer will be submitted to the Director of Planning and Zoning for distribution. The undersigned applicant agrees to comply with all the provisions of Chapter 105 of the Code of the Township of Whitmarsh, as amended, and agrees to obtain all necessary permits in connection with the proposed subdivision and/or land development.

Whitmarsh Township employees, or township-authorized agents, are hereby granted permission to enter upon the land, if necessary, for site inspections.

Original preliminary and/or original final subdivision and/or land development applications submitted by 4:00pm on the last business day of the month will be reviewed by the Whitmarsh Township Planning Commission at a regular meeting two (2) months following the date of submission or other appropriate meeting date depending upon the results of Township reviews.

I hereby certify, as the undersigned applicant, that I am familiar with the provisions of: [1] Chapter 105, "Subdivision and Land Development", [2] Chapter 58, "Grading, Erosion Control, Stormwater Management and Best Management Practices", and [3] Chapter 55, "Tree Protection Standards" of the Code of the Township of Whitmarsh, as amended, and, to the best of my knowledge and belief, this application and the submitted plans conform to those provisions.

Date of Submission: January 25, 2022

Signature: 
(Original Signature must be submitted)

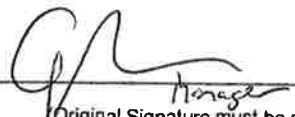
Printed Name: Salvatore J. Paone

I, (name) Salvatore J. Paone (title) Manager of

(entity submitting application) 7111 Sheaff Lane Partners, LLC do hereby affirm

that I am authorized by the applicant to affix my signature to this application.

Date: 1/24/22

Signature: 
(Original Signature must be submitted)

WHITEMARSH TOWNSHIP
SUBDIVISION and/or LAND DEVELOPMENT
TIME WAIVER FORM

Date: 1/24/22

Granted to: Whitemarsh Township Board of Supervisors

Name of Subdivision and/or Land Development: 7111 Sheaff Lane

On or about January 25, 2022, I/we submitted for official filing the above-reference application.

Notwithstanding any contrary provision of the Pennsylvania Municipalities Planning Code or the Code of the Township of Whitemarsh, this letter will serve as notice to Whitemarsh Township that the requirement that action be taken on this application within ninety (90) days is hereby waived, without limitation as to time. This waiver is granted to permit us to make revisions to the application during the application review process.

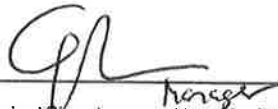
Further, with the understanding that this waiver is voluntarily given and will be relied upon by Whitemarsh Township, I/we will give Whitemarsh Township written notice (by certified mail or recognized overnight carrier) should we determine that limiting the time of the review process becomes necessary. Whitemarsh Township shall then have ninety (90) days from receipt of such written notice in which to act upon the application.

waiver
This waiver is not transferable or assignable by the Applicants and shall apply to any and all revised submissions made in relation to the above-referenced application.

I/we represent that I/we have been duly authorized to execute this waiver on behalf of the Applicant.

Date: 1/24/22

Signature:


(Original Signature must be submitted)

Printed Name:

Salvatore J. Pione

Firm Name:

7111 Sheaff Lane Partners, LLC
(if applicable)

Title:

Manager
(if applicable)

WHITEMARSH TOWNSHIP
REQUEST FOR MODIFICATION (WAIVER) OF
SUBDIVISION and/or LAND DEVELOPMENT ORDINANCE REQUIREMENTS

Pursuant to § 512.1.(b) of the Pennsylvania Municipalities Planning Code, all requests for a modification shall be in writing and shall accompany and be a part of the application for development. The request shall state in full the grounds and facts of unreasonableness or hardship on which the request is based, the provision or provisions of the ordinance involved and the minimum modification necessary.

Check the appropriate line:

No modification (or waiver) of the Whitemarsh Township Subdivision and Land Development Ordinance is requested

I/we hereby request the following modification[s] (or waiver[s]) of the Whitemarsh Township Subdivision and Land Development Ordinance. (The request must identify the applicable Section[s] of the Ordinance, modification[s] requested, and facts of unreasonableness or hardship upon which the request is made; attach additional sheets if necessary).

- _____ 1. 105-21.B.1.n: Existing features (i.e., buildings, driveways, roadways, etc.) within 500 ft. of, and within the site, should be shown on the plans. Allow use of Aerial Imagery to satisfy. _____
- _____ 2. 105-21.B(12)(a): Requirement to provide neighborhood context map showing existing features within 1,000 feet. Allow use of Aerial Imagery to satisfy. _____
- _____ 3. 105-21.B(13): Requirement to provide Existing Resources and Site Analysis Plan (ERSAP) to show existing conditions within 500 feet of the tract. Allow use of Aerial Imagery to satisfy. _____
- _____ 4. 105-30.1.A(4): Requires continuous pedestrian circulation. This is a partial waiver to allow use of Nature Trail in-lieu of sidewalks along Skippack Pike. _____
- _____ 5. 105-48: Requires street trees be planted along all streets within any land development or major subdivision. Allow required Street trees to be planted in other locations on-site. _____
- _____ 6. 105-69.C: Requires Applicant provide for improvements to the abutting streets. (Skippack Pike & Sheaff Lane) _____
- _____ 7. 105-73: Requires sidewalks to be constructed along along all new and existing streets. Allow use of Nature Trail in locations in-lieu of sidewalk. _____
- _____ 8. 105-74: Requires curbs to be constructed along along all new and existing streets. Allow no required curbing along Skippack Pike & limited curbing along Sheaff Lane. _____
- _____ 9. 105-95.B(1): To allow stormwater facilities within the common open space area and that the acreage of the rain gardens be credited towards the minimum common open space. _____
- _____ 10. 105-95.B(2): To allow Open Space areas smaller than (3) Acres. _____
- _____ 11. Res 2004-8, II(C)(3): Requires Soil Cover Complex Method as set forth in the U.S. Department of Agriculture, Soil Conservation Service Publication entitled, "Urban Hydrology for Small Watersheds," Technical Release #55 or latest edition thereof _____
- _____ 12. Res 2004-8, II(E)(2)(g)(iv): Requires all outlet pipes to be minimum diameter of 18", and material to be of reinforced concrete. _____
- _____ 13. 105-48: Request relief from full Street tree quantity as noted in the Compliance Chart on the Landscape Plan. _____

Name of Subdivision and/or Land Development: 7111 SHEAFF LANE

Date: 1/24/22

Signature: _____
[Handwritten Signature]
(Original Signature must be submitted)

**SCHEDULE B
EXCEPTIONS FROM COVERAGE**

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses that arise by reason of:

In the event that one or more of the Exceptions listed below references covenants, conditions and/or restrictions, please note that the Exception(s) specifically exclude any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.

1. Item intentionally deleted.
2. Item intentionally deleted.
3. Item intentionally deleted.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other matters which a correct survey would disclose and which are not shown by the public records.

In order to delete the survey exception shown above, a satisfactory survey of the subject Land, which complies with the minimum standards for land surveys made for title insurance purposes, is to be furnished to the Company.

The Company reserves the right to add additional items as disclosed by the survey, or make further requirements after review of the requested documentation.

5. Real estate taxes for the current tax year which are hereafter assessed and are not yet due and payable.
6. Public and private rights in and to that portion of premises lying in the bed of Skippack Pike and Sheaff Lane.
7. Rights to a certain 50 feet wide right of way as in Deed Book 3785-230. (Affects Premises A)
8. Provisions in Deed Book 3886-462. (Affects Premises A)
9. Easement Agreement as in Deed Book 5029-680 . Corrected in Deed Books 5035-225 and 5035-231 . (Affects Premises A and B)
10. Easement Agreement as in Deed Book 5231-1412 . (Affects Premises A, B and C)
11. Private Road Easement and Maintenance Agreement as in Deed Book 5129-1520 and amended in Deed Book 5231-1419 and Deed Book 5272-1373 . (Affects Premises A and B)
12. Declaration of Easement as in Deed Book 5129-1528 and amended and restated in Deed Book 5231-1421 . (Affects Premises A and B)
13. Memorandum of Improvements Agreement as in Deed Book 5129-1517 and amended in Deed Book 5231-1431 . (Affects Premises A and B)

This is a PROFORMA Policy. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ALTA Owner's Policy (as modified by TIRBOP) (06/17/2006)



**SCHEDULE B
EXCEPTIONS FROM COVERAGE**

(continued)

14. Rights granted to PECO Energy Company as set forth in Deed Book 5163-88 . (Affects Premises A, B and C)
15. Rights granted to Bell Atlantic - Pennsylvania as set forth in Deed Book 5163-1300 . (Affects Premises A and B)
16. Easement Agreement as in Deed Book 5482-1968 . (Affects Premises A and B)
17. Contract and Covenant as set forth in Deed Book 5853-1114 ; and any penalties incurred by reason of breach of same. (Affects Premises A, B and C)
18. Notes, conditions, setback lines, easements, reservations, covenants and restrictions as shown and set forth in recorded plans, recorded in Map Plan/Book No. Plan A-19 pg 61 ; A-53-193 , A-54-146 , A-54-265 , A-55-496 and Plan A-57 pg 424 , but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (Affects Premises A, B and C).
19. Deed of Easement in Deed Book 5038-793 and Deed Book 5054-1444 . (Affects Premises C)
20. Easement Agreement in Deed Book 4999-965 . (Affects Premises C)
21. Restrictions as set forth in Deed Book 5045-854 . (Affects Premises C)
22. Act 319 Covenant entered into by and between Dennis J. Alter and the Insured in Deed Book _____.
23. Declaration of Amendment to Driveway Easements in Deed Book _____ (affects Premises ____).
24. Obligations and restrictions as set forth in a Triple Net Lease in Deed Book _____ (affects Premises ____).

NOTE: The Premises and certain contiguous real estate being retained by Seller are subject to preferential tax treatment pursuant to Pennsylvania Act 319 ("Act 319"). Therefore, at least thirty (30) days prior to the date of this Policy, (a) as required by Act 319(b), Dennis J. Alter ("Seller") will provide a notice to the Montgomery County Act 319 Coordinator of the sale to the Insured of the subject property, (b) pursuant to the terms of the agreement by which the Insured will purchase the Property from the Seller, the Insured will be required to submit the required amendment to the original recorded and approved Act 319 Application (the "Act 319 Application") to preserve such preferential tax treatment, and (c) for seven (7) years after the date of this Policy neither the Seller nor the Insured (nor any of their respective successors) shall cause the loss of such Act 319 tax treatment as further evidenced by the execution and delivery at Closing of the Act 319 Covenant to which Exception 22 in Schedule B refers).

This NOTE will not appear in the final Policy when issued.

This is a PROFORMA Policy. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ALTA Owner's Policy (as modified by TIRBOP) (06/17/2006)

AMERICAN
LAND TITLE
ASSOCIATION



UPDATES

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PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO BOX 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

March 11, 2022

Mr. Charles L. Guttenplan, AICP
Director of Planning & Zoning Officer
Whitemarsh Township
616 Germantown Pike
Lafayette Hill, Pennsylvania 19444

Re: MCPC #21-0287-002
Plan Name: 7111 Sheaff Lane
46 dwelling units comprising 51.23 acres
Situate: Sheaff Lane (west)/ Skippack Pike (north)
Whitemarsh Township

Dear Mr. Guttenplan:

We have reviewed the above-referenced subdivision proposal in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on January 26, 2022. We forward this letter as a report of our review.

BACKGROUND

The applicant, 7111 Sheaff Lane Partners, LLC c/o Salvatore Paone, has submitted a subdivision and land development plan that proposes the subdivision of the 51.23 acre tract at 7111 Sheaff Lane into 46 residential lots on 19.44 acres. The plan proposes approximately 31.60 acres as preserved open space or +/- 60% of the development area. The applicant's development tract is Tax Parcel #65-00-10651-50-7, comprising four consolidated parcels and is situated in the township's AAA- Residential Zoning District. It is located northwest of the intersection of Skippack Pike (PA Rt. 73) and Sheaff Lane and has frontage on both roadways. The tract lies east of the permanently preserved conservation lands of Wissahickon Trails (formerly Wissahickon Valley Watershed Association), which have roadway frontage along Butler Pike. The development tract lies immediately northwest of the Highlands Mansion and Gardens, a 44-acre state historic site with a late 18th century Georgian Mansion with adjoining conservation lands and a two-acre formal garden. The plan shows that the existing 2-story, 36,957 sq. ft. contemporary residential structure and its garage, pool and other outbuildings will be demolished.

The development plan is accompanied by a request for 11 waivers from the Whitemarsh Township Subdivision and Land Development Ordinance. The most recent letter to township regarding the subdivision of this tract was in a letter dated February 7, 2022 in which we provided review comments for a zoning amendment for the AAA and AAAA Residential Districts proposed by Sal Paone Builder.

A sketch plan- "Development Study Exhibit- Option #4"-accompanied the amendment and it proposed a subdivision and land development of 51.23 acre tract into 32 residential lots and the preservation of 25.66 acres (50.10 %) of the tract. The sketch showed 25 residential lots taking public access from Sheaff Lane using the driveway of the former Arbor Hill estate and 6 lots arranged on a cul-de-sac taking access from Skippack Pike. In our review letter we recommended the township proceed with its amendment update process and consider the county's Land Preservation Model Ordinance that could assist in creating a new Conservation Design Subdivision (CDS) Ordinance for the township. It is our understanding from the recent phone conversation on February 28, 2022 that the township planning commission is in the final stage of development for the new 'Open Space Conservation Overlay District (OSCO) Regulations. However, this plan is submitted under the existing AAA- Residential District, Dimensional Standards for Conservation Subdivision Design, Option #3 of Section 116-46.C. of the Zoning Code.

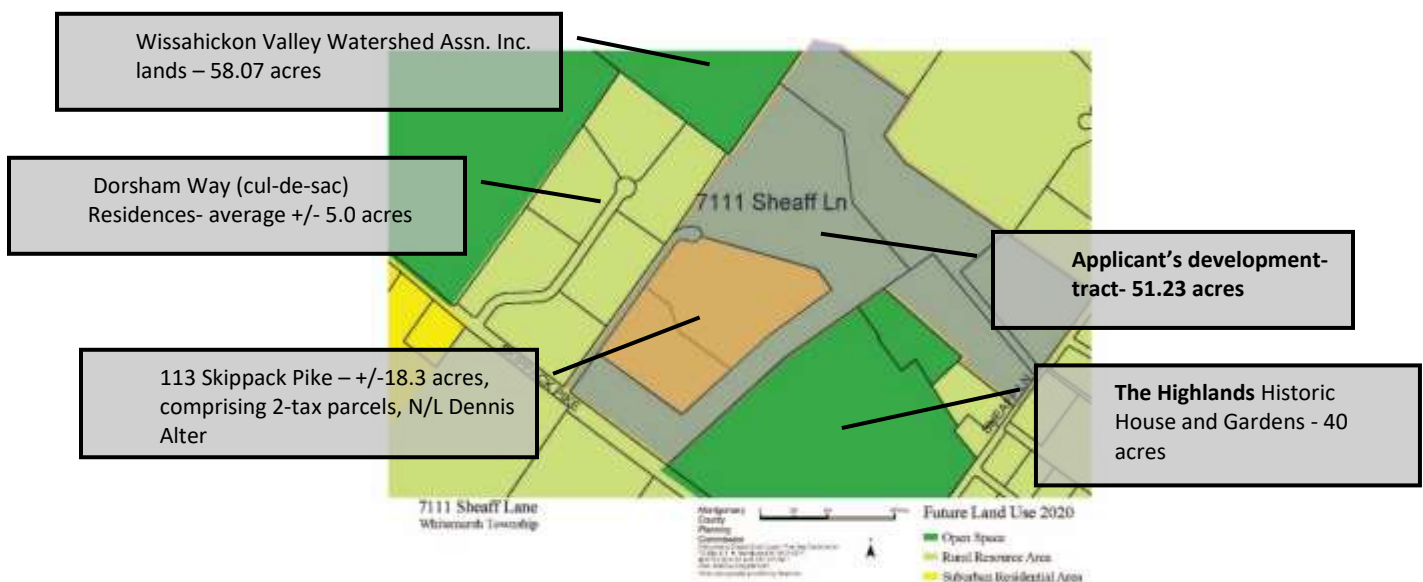
CONSISTENCY WITH THE COUNTY COMPREHENSIVE PLAN

Consistency with the MONTCO 2040 – County Comprehensive Plan-

The adopted *MONTCO 2040: a Shared Vision-* the county comprehensive plan's Future Land Use Map designates the applicant's entire 51-acre development tract as a 'Rural Resource Area'. The goal of the Rural-Resource Area' is to encourage and promote preservation of farmland, open space, and low density residential development that is clustered or has a rural character. The applicant's proposal is consistent with the county's Future Land Use Map, 2040 as shown below.

Consistency with the Whitemarsh Township Plan Update, 2020

The subdivision and land development plan proposed for this tract is consistent with the township's Future Land Use Plan, 2028. The Whitemarsh Township Selective Comprehensive Plan Update, November 2020 identifies this area in the Future Land Use Plan, 2028 as a 'Conservation-Residential Character Area'. The intent of this character area is to preserve the area's open space resources and character, and to encourage sensitive residential development with these resources.



RECOMMENDATION

The Montgomery County Planning Commission (MCPC) recognizes that the applicant's development tract is a unique property, surrounded by significant areas of preserved open space and recognized conservation resources lands. We are generally supportive of the proposed subdivision and land development plan for this property and commend the decision to dedicate 60% of the tract as preserved open space. We are, however, concerned that the significant open space areas bordering the tract are not connected in a meaningful way with this development and thus we have several concerns about the submitted open space plan. The site plan's arrangement appears to preclude the establishment of any meaningful connecting open space between the adjacent open space resources. We believe this represents a significant opportunity cost for the township's future open space and greenway planning and does not further the goals of the conservation subdivision design. We suggest its arrangement and the inclusion of the stormwater management facilities in the minimum calculation of the required open space diminishes the value of the site's open space. The site development plan does not establish an effective central open space commons that is an important feature of a conservation subdivision design and the submitted plan. The plan shows a reforestation area for this space. These and several other issues are discussed below.

COMMENTS

1. Open Space Issues

a. *Interconnection of Important Open Space Assets in the Township*

The plan proposes a nature trail that appears to provide a connection between the sidewalks of Road 'A' and the shared boundary between The Highlands, ultimately connecting to Skippack Pike via Open Space Area 'A'. We recommend that the township ensure that the site development plans provide a connecting public trail between The Highlands and the adjacent preserved lands of the Wissahickon Watershed Lands northwest of the development tract (See the annotated aerial graphic below). One of the key benefits that a Conservation Design Subdivision provides is its interconnection and linkages to neighboring open space areas. In addition to a trail, a larger green, open space area could be established to link the surrounding open space assets. As proposed, the green connecting space is interrupted by residential lots, stormwater basins, roadways and other infrastructure. We recommend the applicant consider an arrangement that provides greater green connections to the neighboring properties.

b. *Legislative Intent- Section 116-267.F. – Need for an Effective Central Open Space- Open Space Area 'C'*

One of the stated goals of the Conservation Design Overlay District is to "Create neighborhoods with direct visual access to open land with amenities in the form of neighborhood open space, and with a strong neighborhood identity." The applicant's site development lacks an effective central open space area which we believe is an important asset for a conservation-design subdivision community where residential lots have limited recreational or informal play space. The proposed central open space 'C' does not comply with the minimum open space area of 3 acres (1.55 acres). Not only is it too small but it has an arrangement that does not serve its role as a neighborhood common space. It has a narrow street frontage which becomes wider further into the lot's interior, making it less valuable asset. We recommend the applicant modify the area designated as the Common Open Space (Open Space Area

'C') in a manner that better serves the surrounding community as a village green, with elements that support community gathering spaces. We recommend the applicant consult the county's Land Preservation District Model Ordinance for guidance on standards of central open space elements (pages 21-22). Internet address follows: <https://montcopa.org/DocumentCenter/View/20472/Land-Preservation-District?bidId=>

c. *Waiver for Section 105-95.B.2 - Minimum Area of 3 acres needed for Open Space Area 'D'.*

The applicant's open space arrangement for Open Space Area 'D' does not comply with the township's minimum area of 3 acres needed for each designated open space area. We are unable to support the waiver request and believe the area needs to be larger in size in part to accommodate the 400-ft. trail that is shown within this area. It appears to be very narrow and wedged behind Lots #34 and Lot #35. We recommend the applicant provide the minimum open space area of 3 acres for this designated open space area which would give the trail its needed additional space. It would then become a more effective space to establish a nature trail.

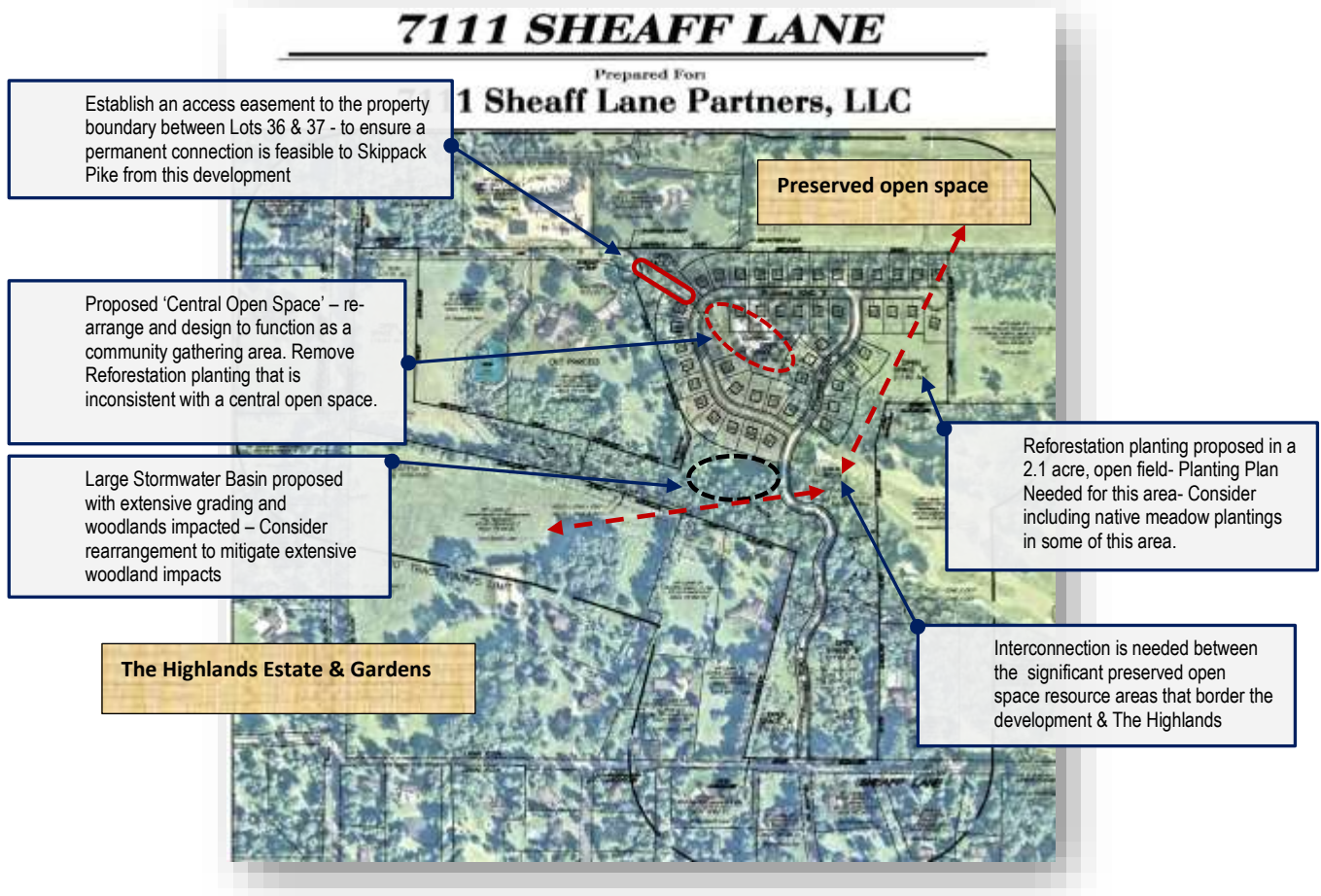
d. *Configuration of Open Space Areas-*

Several of the designated Open Space Areas are oddly shaped, with irregular boundary lines which could be compromised over time without a clear delineation of the residential property boundary with the open space. To ensure the integrity of these spaces, we recommend that the site plan include large trees planted at the boundary line, combined with open space signage to landmark and establish for adjacent property owners where the open space is located. Evergreen trees are frequently used for this purpose, in addition to large shade tree species. This can help ensure that the open space areas don't become an extension of the rear yards of adjacent property owners.

2. **Parcel Interconnection- Future Roadway**

Parcel Interconnection with a future roadway to the adjacent 18.3-acre tract.

We recommend the applicant reserve the area between Lots #37 & Lot #36 for a potential interconnection with the adjacent 2 tax parcels which total +/- 18.3 acres. This property may be subdivided and developed in the future by using the Conservation Design Subdivision regulations, and we believe an interconnection between these areas is in the public interest. Most importantly, it will ensure that first responders such as the local fire company will arrive at the 46 residential homes along Roadways 'A' and 'B' much sooner rather than entering the development from Sheaff Lane by using Skippack Pike. We recommend the roadway between these lots be built to the township's roadway standards at this time to ensure that residents know this interconnection is planned for the future. This area is highlighted in the annotated graphic below.



Annotated Review Comments shown with Site Plan Aerial

3. Stormwater Management Facilities

a. Waiver of Section 105-95.B (1) – Stormwater Basins and Open Space

We do not support the waiver for these regulations and suggest that allowing the stormwater management basins to be credited in achieving the minimum open space requirement is contrary to the Legislative Intent, as stated by Section 116-267.A. The purpose is to set aside areas that contain sensitive natural features such as woodlands, streams, floodplains, and other vulnerable environmental resources from development. The inclusion of areas that contain infrastructure for the site’s development runs contrary to this goal.

b. Proposed Stormwater Basin in an existing Woodland Area

The site development plan proposes 2 stormwater management basins situated along both sides of Road ‘A’, immediately outside the development’s residential development area. We have concerns about the largest stormwater basin shown on the aerial in an existing woodland area immediately behind Lots # 44, # 45 and #46 and west of Lands of Jose & Lisa Ramos. It appears that established woodlands would be removed to create this large basin. The township values its tree canopy and the preservation of woodlands is a primary goal of the Conservation Design Subdivision. The dilemma at

this location is that significant trees are being removed, while in Open Space 'B', that is not wooded but open fields, a significant tree reforestation planting is proposed over a large area. We recommend the applicant consider a re-arrangement of the proposed stormwater management design that relies less upon this basin to manage run-off and reduce the development footprint on this wooded area. Preserving a greater area of woodlands in this area would be beneficial and could serve as a more substantial open space connection between the site development and The Highlands.

4. Landscape Plan - *Comments shown on the aerial site plan graphic above*

a. Reforestation in the Open Space Area 'C' (Common Green)

The site plan proposes reforestation plantings within several open space areas of the development. There is no accompanying documentation provided that we believe is needed for the township to evaluate the proposal. The reforestation planting could mean a wide range of alternatives and more detailed planting plans are needed. The reforestation planting for Open Space 'C'- Common Green is inappropriate landscape improvement for a community common space. This area needs shade trees in a designed space rather than a reforestation planting. While some large shade trees are needed, the 'reforestation area' symbols used on the plan suggests a widespread use at regular intervals of trees and woody plants.

b. Reforestation in Open Space Area 'B'

We support the reforestation planting proposal shown for Open Space Area 'B'. We recommend the planting plan include specifications that would guide a site's preparation and include the removal of invasive trees, shrubs and vines prior to planting. We suggest an open native meadow area in the open space that is intentionally planted would be both environmentally and aesthetically beneficial. It appears that +/- 2.0 acres of the 11.8 acre open space is now open grass fields. We suggest creating an open area with meadows and lower vegetation to transition to the reforested areas along the edges of the open space. We recommend the applicant use this area as an opportunity to provide a native meadow with under-story trees, and provide the township with a landscape planting plan and schedule for this area.

5. Central Water and Sewage Facilities-

We recommend the applicant provide the township with the information regarding how centralized water and sewage facilities will be provide to the proposed residential subdivision. It is unclear if the public systems are available at this location or if public infrastructure will need to be extended to this location.

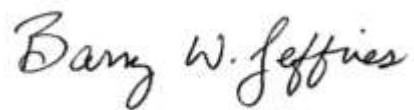
CONCLUSION

We recommend the township address the above mentioned review comments to your satisfaction. Please note that the review comment and recommendation contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Please be aware that the MCPC #21-0287-002 has been set aside for the applicant' plan. If any subsequent plans are submitted for final recording, this MCPC number should appear on the applicant sheets within the plans in the box reserved for the seal of this agency.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,

A handwritten signature in cursive script that reads "Barry W. Jeffries".

Barry W Jeffries, ASLA, Senior Design Planner
bjeffrie@montcopa.org - 610-278-3444

c: Chairperson, Township Planning Commission
Township Engineer
Township Solicitor

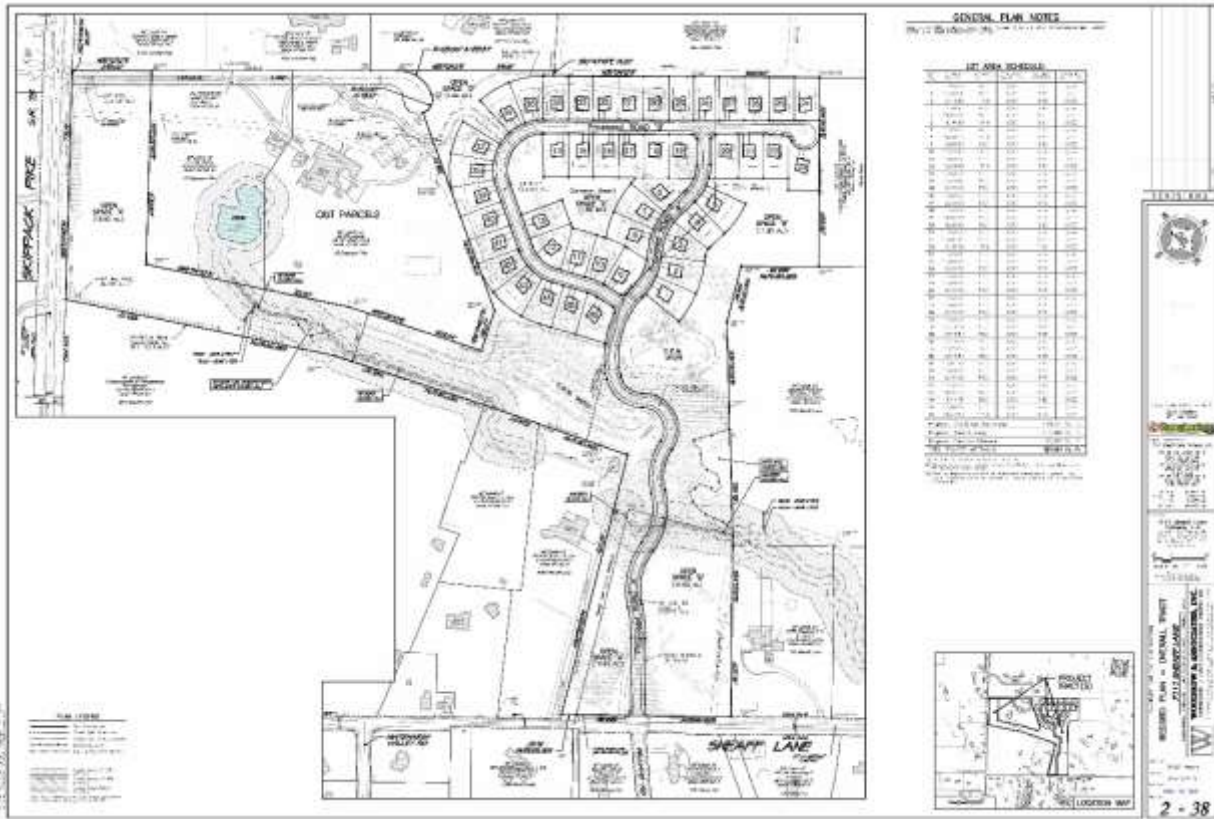
Attachments
Aerial & Site Plan



7111 Sheaff Lane
MCPC #210287002

Montgomery
County
Planning
Commission
Montgomery County Courthouse - Planning Commission
170 Oak St. • Norristown, PA 19384-4311
(610) 278-3122 • (610) 278-2945
www.montcopa.org/planning
Aerial photography provided by Naeemaps.





WHITEMARSH TOWNSHIP

To: Charlie L. Guttenplan, Director of Planning & Zoning/Zoning Officer
From: NICHOLAS W. WEAVER, FIRE MARSHAL 
Subject: SLD #03-22 7111 Sheaff Lane Partners, LLC
Date: March 16, 2022
cc:

This application cannot be approved at this time for the following outstanding items:

1. Fire Apparatus Access and turning plan not provided. This plan shall meet the requirements as set forth in Chapter 5 of the International Fire Code 2015 edition, Appendix D of the International Fire Code 2015 Edition, and Whitemarsh Township Ordinance #1003.
 - a. Fire Apparatus Access Roads shall be 24' wide with 14' vertical clearance and no closer than 5' to a structure.
 - i. This includes the emergency access road to the private driveway
 - b. Highest roof surface height shall be provided. This height shall be measured to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls. If this height exceeds 30ft, the Fire Apparatus Access Road shall be 26' wide.
 - c. Apparatus: Overall length 49' and wheelbase 23' (Tandem axle).
 - d. The emergency access gates shall be approved by the Fire Marshal with an approved means for emergency bypass.

2. Fire Hydrant plan not provided. This plan shall meet the requirements as set forth in Chapter 5 of the International Fire Code 2015 edition, Appendix B of the International Fire Code 2015 Edition, and Whitemarsh Township Ordinance #1003.
 - a. All buildings must have a fire hydrant within 600' of the structure by approved route.
 - b. The hydrants must be capable of flowing a minimum of 1500 gallons per minute for one hour.
 - c. The average spacing between hydrants shall not exceed 500'.
 - i. The maximum distance to any fire hydrant at any point of the street shall not exceed 250'.
 - ii. The spacing of hydrants along the entrance roadway where no buildings are present, this is extended to 1000' for average spacing between hydrants and the maximum distance to any hydrant does not apply.

Nicholas W. Weaver
Fire Marshal
616 Germantown Pike
Lafayette Hill, PA 19444
Phone: 610-825-3535 ext. 2614
Email: nweaver@whitemarshwp.org



Whitemarsh TOWNSHIP

616 GERMANTOWN PIKE - LAFAYETTE HILL, PA 19444-1821

TEL: 610-825-3535

FAX: 610-825-9416

www.whitemarshwp.org

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Township Manager

May 13, 2022

7111 Sheaff Lane Partners, LLC
c/o Salvatore Paone
1120 N. Bethlehem Pike
Spring House, PA, 19477

**RE: SLD03-22 / 7111 Sheaff Lane, Fort Washington, PA
Proposed 46 Homes (Preliminary Major Subdivision Plan)
Zoning Ordinance Compliance Review for Preliminary Plan**

Dear Mr. Paone:

Please accept this as a review of the Zoning Ordinance Compliance issues for your above referenced 38-Sheet Major Subdivision Plan submission, prepared by Woodrow and Associates, Inc., dated Nov 17, 2021 and received January 25, 2022.

Please note that the site for this development is zoned AAA Residential with an overlay of the Conservation Design Overlay District (CDOD). This project is being developed under Conservation Design District standards Option 3; the applicable standards from CDOD have been used for this review. There are two relatively small sections of the proposed development also located within the Riparian Corridor Conservation Overlay District (RCCD).

1. §116-11. Skippack Pike is classified as an arterial road with an Ultimate Right-of-way of 80'. Sheaff Lane is classified as a minor collector with a 60' Ultimate Right-of-way. In the case of Sheaff Lane, the legal right-of-way is also 60'. The ultimate rights-of-way should be shown and labelled.
2. §116-28.A.(2) The applicant shall furnish a letter from the appropriate authority indicating the availability and supply of water for the proposed project to the Zoning Officer.
3. §116-29. The applicant must obtain the approval of the Whitemarsh Township Authority with regard to the ability to provide sanitary sewage service to the proposed homes.
4. §116-259. Proposed Road 'A' crosses a riparian corridor. In §§116-259.B.(3)(c) and 116-259.C.(3)(c), such corridor crossings are permitted in Zone One and Zone Two, respectively, provided mitigation requirements of §116-264.B. and the design standards of §116-265.A., are satisfied. Documentation of the mitigation proposed, must be provided.

5. §116-274.B.2. This section requires all dwellings to meet a setback requirement of 50' from all tract boundaries (except those along streets). The representative houses shown on Lots 23 & 24 are located within 50' of the tract adjacent to the cul-de-sac bulb of Road B, identified as parcel number 65-00-08156-00-5. While the representative houses shown on Lots 24 through 34 are in excess of 50 feet from the tract boundary with the tract identified as parcel number 65-00-01387-00-6, adjacent to the northwest corner of the development (Willow Lake Farm Preserve, owned by Wissahickon Trails), the rear yard setback would allow these homes to be within 40 feet of that tract.

6. §116-275.B.(2) Note #22 on Sheet 1 of the plan set indicates that the common open space shall be owned by the individual lot owners, as provided for in §116-275.B.(2). That note also indicates that the common open space will be maintained by an association created for this development. All documents establishing and governing any such organization must be provided for review and approval by the Township Solicitor. Documentation should also cover any other elements (such as stormwater management basins, streets, etc.) that might fall under the jurisdiction of the association.

7. §116-275.B.3) This section requires that a 150' natural greenway buffer be preserved along a common boundary with public parkland, in which no structures may be built or vegetation removed (except to allow for trails). Lot 65-00-01387-00-6, adjacent to the northwest corner of the development, is the Willow Lake Farm Preserve, owned by Wissahickon Trails and available for public recreational use, and we note a trail connection is shown to this property on the submitted plans. Wissahickon Trails staff confirmed that this land is available for use by the public. Therefore, this 150' buffer area must be provided and shown on the plans.. Development on Lots 24 through 34 currently fall within this buffer.

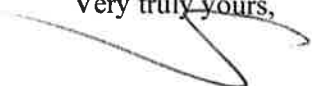
8. §116-276.B. Section 116-276.B. specifies that the common open space shall be subject to permanent conservation easements. Documentation concerning the establishment of such easements must be provided to the Township for review. Should the intent be for a conservation organization to hold these easements, Township consent is required.

Additional Comment

9. The Fire Marshal issued a review memo dated March 16, 2022 which was previously shared with the applicant. It is also enclosed with this letter for easy reference.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,


Charles L. Guttenplan, AICP
Director of Planning and Zoning/Zoning Officer

Encls.: Fire Marshal review memo dated March 16, 2022

7111 Sheaff Lane Associates, LLC
SLD#03-22

May 13, 2022

cc: Richard L. Mellor, Jr., Township Manager
Sean Halbom, Township Assistant Manager
Robert A. Sztubinski, B.C.O., Director of Building and Codes
Nick Weaver, Fire Marshal
Sean P. Kilkenny, Esq., Township Solicitor
Krista Heinrich, P.E., Township Engineer
Timothy P. Woodrow, Engineer, Woodrow & Associates, Inc.



May 20, 2022

File No. 2022-04052

Mr. Richard L. Mellor, Jr., Township Manager
Whitemarsh Township Municipal Building
616 Germantown Pike
Lafayette Hill, PA 19444

Reference: Preliminary Major Subdivision Plan
7111 Sheaff Lane
Whitemarsh Township, Montgomery County, Pennsylvania
SLD #03-22

Dear Mr. Mellor:

As requested, we have reviewed plans for the above referenced application prepared by Woodrow & Associates, Inc., dated November 17, 2021, with no noted revisions. The following comments are offered for your consideration:

SUMMARY OF WAIVERS REQUESTED:

| <u>Section</u> | <u>Description</u> |
|---------------------|---|
| 1. 105-21(B)(1)(n) | The applicant is requesting a waiver from the requirements of this section of the ordinance, which requires the plans to show existing principal buildings (and their respective uses), and driveways on the adjacent peripheral strip: sewers lines, storm drains, culverts, bridges, utility easements, quarries, railroads, and other significant man-made features within 500 feet of and within the site, including properties across streets. An aerial photo has been included in the plan set which shows the required features. |
| 2. 105-21(B)(12)(a) | The applicant is requiring a waiver from the requirements of this section of the ordinance, which requires the plans to include a map showing the relationship of the subject tract to natural and man-made features existing within 1,000 feet of the tract boundaries. |
| 3. 105-21(B)(13) | The applicant is requiring a waiver from the requirements of this section of the ordinance, which requires that an Existing Resources and Site Analysis Plan (ERSAP) shall be prepared and shall provide a comprehensive analysis of existing conditions, both on the proposed development tract and within 500 feet of the tract boundaries. Conditions beyond the tract boundaries may be described on the basis of existing published data available from governmental agencies and from aerial photographs. We have no objection to the granting of a waiver to allow aerial imagery to show the required features beyond the tract boundaries. |

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

| <u>Section</u> | <u>Description</u> |
|-------------------|---|
| 4. 105-30.1(A)(4) | The applicant is requiring a waiver from the requirements of this section of the ordinance in order to allow the use of a nature trail in lieu of concrete sidewalks along Skippack Pike. The waiver request may not be appropriate to the requirements of this section of the ordinance, which states that "streets shall be interconnected as far as practicable and shall employ culs-de-sac only where essential. Where culs-de-sac are deemed to be unavoidable, continuous pedestrian circulation shall be provided by connecting sidewalks that link the end of the cul-de-sac with the next street or open space." |
| 5. 105-48 | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to allow a portion of the required street trees to be planted in other locations on site instead of along streets and to plant fewer street trees than are required. |
| 6. 105-69(C) | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to not require that improvements shall be made to the street along the existing street on which a subdivision or land development abuts. We have no objection to the granting of this waiver. |
| 7. 105-73 | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to allow the use of a nature trail in lieu of concrete sidewalks along Skippack Pike. |
| 8. 105-74 | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to not require curbs to be constructed along Skippack Pike. We have no objection to the granting of this waiver, unless PennDOT requires curbing, since Skippack Pike is a State Route. |
| 9. 105-95(B)(1) | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to allow stormwater facilities within the common open space area and that the acreage of the rain gardens be credited towards the minimum common open space area. This section of the ordinance states "the Board of Supervisors may grant approval of structures and improvements required for storm drainage, water supply and sewage treatment within the common open space, provided that such facilities would not be detrimental to the common open space (and that the acreage of lands required for such uses is not credited towards minimum common open space acreage requirements for the tract, unless the land they occupy is appropriate for passive recreational use)." |
| 10. 105-95(B)(2) | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to allow open space areas smaller than 3 Acres. |
| 11. II(C)(3) | The applicant is requesting a waiver from the requirements of this section of the ordinance in order to not require designs for stormwater management systems and facilities to determine stormwater peak discharge and runoff by use of the Soil Cover Complex Method as set forth in the U.S. Department of Agriculture, Soil Conservation Service Publication entitled, "Urban Hydrology for Small Watersheds," Technical Release #55 or latest edition thereof. Since a stormwater management report has not been submitted to date, we are not prepared to make a recommendation with regard to this waiver request. |

| <u>Section</u> | <u>Description</u> |
|---------------------|---|
| 12. II(E)(2)(g)(iv) | The applicant is requesting a waiver from the requirements of this section of the ordinance which requires that the minimum diameter of all storm drainage pipes is eighteen inches or equivalent thereto and to be constructed of reinforced concrete pipe. We have no objection to the granting of this waiver. |

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

| <u>Section</u> | <u>Description</u> |
|--|---|
| 13. 105-21(B)(1)(f) | The location map must show the relation of site to adjoining properties and streets, within 1,000 feet and be shown at a scale of 1"=800'. |
| 14. 105-21(B)(1)(o)[1] 105-21(B)(16)(c) | The plans must be revised to indicate the tentative names of all proposed streets. |
| 15. 105-21(B)(3) | The plans must be revised to include a vegetation map, showing forest areas, Large trees over six inches caliper standing alone and other significant vegetation. |
| 16. 105-21(B)(5) | The plans must be revised to include a sedimentation and erosion control plan pursuant to the Whitemarsh Township Grading Ordinance. |
| 17. 105-21(B)(7) | The plans must be revised to include a Tree Survey Plan indicate any existing vegetation to be removed, and existing vegetation to be preserved. |
| 18. 105-21(B)(9) (c)[2] | The applicant is advised that the Planning Commission, at its discretion, may request the preparation of a traffic impact study for any subdivision or land development. |
| 19. 105-21(B) (10)(a) | The applicant shall submit a letter from the appropriate municipal authority indicating the availability of public sanitary sewer facilities. |
| 20. 105-21(B) (10)(b) | The applicant shall submit a letter from the appropriate municipal authority indicating the availability of central water supply. |
| 21. 105-21(B)(14)(a) 105-21(B)(16)(a) | This section of the ordinance state that Common open space shall include all primary conservation features areas and those parts of the remaining buildable lands with the highest resource significance, as described below and in § 116-273, Site capacity calculations, and § 116-275, common open space land use and design standards of Chapter 116, Zoning. The "Development Plans" (Sheets 8 – 11) must be revised to show all primary conservation features areas and those parts of the remaining buildable lands with the highest resource significance, in order to facilitate review. |
| 22. 105-21(B)(14)(b) 105-21(B)(16)(a) | Building sites shall be located outside all primary conservation features and any secondary conservation features to be preserved, taking into consideration the potential negative impact of residential development on such areas as well as the potential positive benefits of such locations to provide attractive views and visual settings for residences. The "Development Plans" (Sheets 8 – 11) must be revised to show all primary conservation features and any secondary conservation features, in order to facilitate review. |

| <u>Section</u> | <u>Description</u> |
|-----------------------------|--|
| 23. 105-21(B)(14) (d)[4] | The plans must be revised in order to demonstrate compliance with the requirements of this section of the ordinance, which states that at least 3/4 of the lots shall directly abut or face common open space across a street. |
| 24. 105-21(B)(15) | A Preliminary Resource Impact and Conservation Plan (the "Preliminary Impact Plan") shall be prepared for all Major Subdivision and Land Development applications to categorize the impacts of the proposed activities and physical alterations on those resources shown on the ERSAP. All proposed improvements, including but not necessarily limited to grading, fill, streets, buildings, utilities and stormwater management facilities, as proposed in the other Preliminary Plan documents, shall be taken into account in preparing the Preliminary Impact Plan, which shall clearly demonstrate that the applicant has minimized site disturbance to the greatest extent practicable. |
| 25. 105-21(B)(16)(h) | The plans must be revised in order to show the Limit-of-disturbance line as determined pursuant to Chapter 55, Tree Protection Standards, of the Code of Whitemarsh Township. The limit-of-disturbance line must be exact in relation to the dripline of existing trees proposed to be saved. |
| 26. 105-21(B)(17) | The applicant must prepare and Erosion and Sedimentation Control Plan and Stormwater Management Calculations. |
| 27. 105-21(B)(17) | For all subdivision and land development applications which propose lands and/or facilities to be used or owned in common by all the residents of that subdivision or land development (collectively, the common facilities) and not deeded to the Township, the common facilities shall be controlled and maintained by a homeowners' association or condominium association (the community association) formed in accordance with all applicable laws of the Commonwealth of Pennsylvania, and governed by a community association document, also known as a "homeowners' association document" or a "condominium association document." |
| 28. 105-21(B)(18) | The applicant shall submit a 'Preliminary Common Open Space Ownership and Management Plan' consistent with the requirements of this section of the ordinance. |
| 29. 105-21.1(K)(2) | Within the North Transportation Service Area an impact fee in the amount of Two Thousand Eight Hundred and Twenty-Five Dollars (\$2,825.00) per anticipated peak hour trip must be provided by the applicant. Based on data documented within the latest edition of the ITE Trip Generation Manual, the proposed development will generate 46 PM peak hour trips. Therefore, the traffic impact fee totals \$129,950.00 (\$2,825.00x 46 peak hour trips). |
| 30. 105-26(E) | Land subject to subsidence and land deemed to be topographically unsuitable, may not be platted for residential use or for such other uses as may increase danger to health, life or property until all such hazards have been eliminated or unless adequate safeguards against such hazards are provided. The applicant shall submit a geotechnical report prepared by a Registered Professional Engineer experienced in geotechnical engineering that includes a statement regarding the suitability of the site for development. |

| <u>Section</u> | <u>Description</u> |
|-----------------------------|--|
| 37. 105-30.1(D)(3) | In neighborhoods where lot sizes are 15,000 square feet or less, on-street parking shall be provided in parking lanes parallel to curbs. Parking lanes shall be encouraged to be surfaced with alternative materials, textures and/or colors (such as asphalt with red-colored stone chips steamrolled in just after the asphalt is laid). Such on-street parking shall be supplemented, wherever necessary, by off-street parking areas that are screened from the street by landscaping and low fences or walls reaching standard vehicle hood-height. |
| 38. 105-31(C) | The plans must be revised such that grades across culs-de-sac shall not exceed 3%, or a waiver must be obtained. |
| 39. 105-32, 105-56(B)(2) | The plans must be revised to indicate whether the proposed streets are intended to be privately owned or dedicated to the Township. Please note, private residential streets will be approved only if they meet the following requirements: A. No more than eight lots may be permitted to front on a private street. B. The private street shall have a right-of-way width and a horizontal and vertical alignment consistent with the requirements for public streets. C. The private street shall meet minimum pavement structure requirements. D. The private street shall be owned and maintained by all abutting property owners. A homeowner's association or other legal entity approved by the Board of Supervisors shall be formed in order to properly administer such maintenance responsibilities. E. The Board of Supervisors shall reserve the right to order the reconstruction of the private street up to Township standards and subsequent dedication as a public street, if such private street is deemed to be a safety or health hazard. Costs of such reconstruction shall be assessed against all abutting property owners and shall be borne by said property owners. F. Private streets shall be indicated as such on the record plan and shall be subject to contract and guaranty requirements as described in Article VIII. |
| 40. 105-33(B) | The plans must be revised to provide minimum center-line radii for horizontal curves for Local streets and courts of 150 feet, or a waiver must be obtained. |
| 41. 105-37 | The plans must be revised to indicate the available sight distances at all proposed street intersections to demonstrate compliance with the requirements of this section of the ordinance and/or the required sight distances contained in the most current revision of Pennsylvania Code Title 67 Chapter 441, whichever is more restrictive. |
| 42. 105-41 (A) | This section of the ordinance requires that the proposed Stormwater Management Plan be reviewed for compliance with Chapter 58 of the Whitmarsh Township Code, entitled 'Grading, Erosion Control, Stormwater Management and Best Management Practices'. |
| 43. 105-42 | No subdivision or land development plan shall be approved unless there has been an erosion and sedimentation control plan approved by the Township Engineer consistent with the requirements of Chapter 58 of the Whitmarsh Township Code, entitled 'Grading, Erosion Control, Stormwater Management and Best Management Practices'. |
| 44. 105-45 | The plans must be revised to indicate whether numerous existing easements are proposed to be vacated. |

| <u>Section</u> | <u>Description</u> |
|-----------------------------------|---|
| 45. 105-47(A) | Sidewalks shall be provided in all subdivisions and land developments in accordance with sections 105-30, 105-47 and 105-73 of the Whitemarsh Township Code. See comment 105-30 of this report for related comment. |
| 46. 105-48(E) | Unless otherwise approved by the Board of Supervisors, street trees shall be planted within a tree planting zone of lawn area or other material approved by the Shade Tree Commission, situated between the sidewalk and curb and measuring a minimum of five feet in width from the planting edge of the curb to the planting edge of the sidewalk. |
| 47. 105-48.1(B)(4)(a) | The landscaping plan should be revised to locate a portion of the required Landscaping and screening plantings between proposed features and existing adjacent residential uses; particular within the following lots: 23, 24, and 37-43. |
| 48. 105-48.1(B)(4)(e) | No plantings shall be placed with their center closer than five feet from the side or rear property lines of the tract. |
| 49. 105-48.1(C)(1)(b) | This section of the ordinance states the applicant shall submit a delineation of view of the applicant's tract as it would be developed and as seen from adjoining properties used or zoned for residential or institutional purposes, and from existing adjoining public roads. Such views shall be classified, by agreement between the applicant and the Township, according to whether views of the applicant's proposed improvements would be hidden, filtered, or unobstructed. |
| 50. 105-52(B)(2) | This section of the ordinance requires that all buffers shall have a minimum width of 50 feet. The Board of Supervisors may permit an alternative planting option which shall have a screening capability equal to or greater than any of the available options. The applicant should provide evidence in sufficient detail to the Board of Supervisors in order to demonstrate that sufficient screening will be provided. |
| 51. 105-53(D) 105-21(B)(16)(i) | This section of the ordinance requires the dedication of land in the amount of 10% of the total Site Area for Park and/or Recreational use. The applicant has the option of offering a fee in lieu of dedicating actual land area and can also provide a combination of a fee in lieu and dedication of land. All offers of land and/or fees in lieu of dedication must meet the requirements of this section of the ordinance. |
| 52. 105-70 | Note 28 on Sheet 1 must be revised to indicate that the Developer shall erect street signs. |
| 53. 105-70(C) | The plans indicate a mid-block crossing of Sheaff Lane at Williams Road. The plans must be revised to provide a safe mid-block crossing, including signage, striping and Rectangular Rapid Flashing Beacons (RRFBs). |
| 54. 105-72(A) | Monuments shall be placed at the beginning and end of curves along both sides of the street intersection with Sheaff Lane. |
| 55. 105-76(B) | Water mains shall be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specifications of the Middle Department Association of Fire Underwriters Review, and approval by the Township Engineer and the Township Fire Marshal is required in order to ensure that adequate fire protection is provided. |

| <u>Section</u> | <u>Description</u> |
|----------------|---|
| 56. 105-78 | The applicant must obtain the approval of the Whitemarsh Township Authority with regard to proposed sanitary sewerage facilities. |
| 57. 105-79 | All preliminary plan submissions shall include a completed sewage facilities planning module (the planning module) for land development provided by DEP. |
| 58. 105-81 | All electric, telephone and communication service facilities, both main and service lines, shall be provided by underground cables, installed in accordance with the prevailing standards and practices of the utility and other companies providing such service. Final plans shall show locations of all utilities and shall be coordinated with landscaping. |
| 59. 105-83(E) | No Removal of a tree shall be permitted unless the applicant obtains a recommendation from the Shade Tree Commission based on a tree survey and removal plan submitted in accordance with Chapter 55 of the Whitemarsh Township Code. |
| 60. 105-89 | The developer shall enter into a written agreement with the Township in the manner and form approved by the Solicitor wherein the developer shall agree, to construct or cause to be constructed at his own expense all proposed improvements shown on the approved land development plan, all in strict accordance with the standards and specifications of the Township and within the time specified in said agreement, and to deposit with the Township financial security in an amount sufficient to cover the cost of all subdivision or land development improvements, including both public and private improvements. |

CHAPTER 55 - TREE PROTECTION STANDARDS

| <u>Section</u> | <u>Description</u> |
|-------------------|---|
| 61. 55-4(A) | A Tree Survey Plan prepared in accordance with the requirements contained in this section of the ordinance must be submitted to the Township. The tree survey plan shall be reviewed by the Shade Tree Commission in a public meeting. |
| 62. 55-4(A)(7) | Heritage trees and boundary trees shall be individually noted on the tree survey plan. |
| 63. 55-4(B)(1) | The plans must be revised to include provisions for tree protection to preserve healthy trees and shrubs on site in accordance with this section of the ordinance. A note must be added to the plans requiring protective fencing to be placed around trees on the property prior to construction. Protective fencing must be shown on the plans in the areas where it will be required, and a tree protection fence detail must be provided. |
| 64. 55-4(B)(6)(a) | This section of the ordinance requires that every tree determined to be living and healthy, with a DBH of 6 inches or greater and which is designated to be removed or which is destroyed, shall be replaced with one or more new shade trees of a type approved by the Township with a trunk diameter of not less than 3 inches in caliper. The total caliper of replacement trees, measured at 6 inches above the ground line, shall equal or exceed the DBH of the tree removed. Calculations that indicate compliance with the tree replacement requirements contained in this section of the ordinance must be added to the plans. |

| <u>Section</u> | <u>Description</u> |
|-------------------|---|
| 65. 55-4(B)(6)(c) | Replacement trees shall be planted in addition to the trees required by planting requirements otherwise set forth in the Subdivision and Land Development Code. |

GRADING, EROSION CONTROL, STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES ORDINANCE:

The plans will be reviewed for stormwater management and best management practices following the submission of Stormwater Management Calculations. Please note that we have incorporated selected applicable comments related to the requirements of Chapter 58 and Resolution 2004-8 of the Whitemarsh Township Code into this review to provide the applicant guidance in the preparation of future plan submissions. These comments do not fully address stormwater management on the site.

| <u>Section</u> | <u>Description</u> |
|-------------------|--|
| 66. 58-4(B)(2)(l) | The plan must be revised to include a delineation of the limits of disturbance, along with a statement, in square feet, of the total site area and the disturbed area. |
| 67. 58-4(B)(2)(q) | The plan must be revised to include an estimated development schedule and construction sequence for the site. |
| 68. 58-4(B)(3) | The applicant must submit plans and written procedures for minimizing erosion and sedimentation. |
| 69. 58-4(B)(4) | The applicant must submit plans and supporting calculations detailing proposed stormwater drainage and stormwater management systems required by regulations adopted pursuant to this chapter. |
| 70. 58-4(D)(1) | Since the limit of disturbance is greater than one acre, the applicant must obtain a National Pollutant Discharge Elimination System (NPDES) permit from the Pennsylvania Department of Environmental Protection. Once obtained, a copy must be submitted to the Township. |
| 71. 58-5(A) | No regulated earth disturbance activities within the Township shall proceed until approval by the Township of a BMP operations and maintenance plan, which describes how the permanent stormwater BMPs will be properly operated and maintained. |
| 72. 58-5(B)(4) | A statement, signed by the landowner, acknowledging that the stormwater BMPs are fixtures that can be altered or removed only after approval by the Township shall be added to the plans. |

| <u>Section</u> | <u>Description</u> |
|-----------------|--|
| 73. 58-8(B) | <p>Stormwater facilities shall be accessible to permit periodic maintenance and an access easement shall be provided to permit such access. The following blanket stormwater easement note, must be added to the plan:</p> <p><i>'Stormwater facilities shall be owned and maintained by the property owner in perpetuity. The property owner shall provide a blanket stormwater access easement to the Township for the purpose of access to the stormwater facilities. If, in the judgment of the Township Engineer, the owner has failed to maintain the stormwater facilities in such a manner as to ensure their proper functioning, the Township after providing a written notice, shall have the right to enter upon the lands of the owner and to make any repairs as may be necessary to the stormwater facilities to ensure that such facilities function and perform in accordance with the design specifications. Any and all costs incurred by the Township for such repairs and/or maintenance shall be paid in full by the owner. A lien or liens may be placed against the property if the owner fails to remit payment within sixty (60) days.'</i></p> |
| 74. 58-11(G)(3) | <p>An as-built survey of all stormwater BMPs must be submitted to the Township in paper and digital (dwg) formats. A note must be added to the plans stating an as-built survey will be completed and submitted in both formats to the Township.</p> |
| 75. 58-11(H)(1) | <p>The property owner shall sign an operations and maintenance agreement with the Township addressing stormwater BMPs that are to be privately owned.</p> |
| 76. 58-12(B) | <p>A note must be added to the plans stating that plans for the earth disturbance activity, bearing the stamp of approval of the Township Engineer, shall be maintained at the site during the progress of the grading work and until the work has been completed.</p> |

RESOLUTION 2004-8:

| <u>Section</u> | <u>Description</u> |
|----------------|--|
| 77. I(B)(1) | <p>The plan must be revised to meet, at a minimum, the requirements of the "Erosion and Sediment Pollution Control Program Manual" published by the Pennsylvania Department of Environmental Protection.</p> |
| 78. I(B)(4)(g) | <p>This section of the ordinance requires provisions be made to effectively accommodate the increased runoff caused by changed soil and surface conditions during and after development of the site.</p> |
| 79. I(B)(4)(n) | <p>A note must be added to the plans to address measures for dust control during grading.</p> |
| 80. II(A)(8) | <p>The plans indicate a proposed connection to an existing stormwater conveyance system on Sheaff Lane. The applicant must provide evidence in sufficient detail to demonstrate the condition and suitability of the existing system in order to demonstrate its capability to adequately convey the runoff from the site.</p> |

| <u>Section</u> | <u>Description</u> |
|---------------------------|--|
| 81. II(C)(1) | All earth disturbance activities shall limit the rate of stormwater runoff so that no greater runoff is permitted from any point on the site than that of the site at its maximum development potential in its natural condition of the same frequency storm, except where deemed necessary by the Township Engineer. Where farm, field, or disturbed earth is the existing condition, meadow shall be used as the starting basis for such calculations, regardless of the actual conditions. |
| 82. II(C)(2) | The increased runoff from the proposed development must be controlled by permanent runoff control measures. All runoff control measures shall be evaluated for their effectiveness during the one hundred year storm. The required stormwater management calculations must demonstrate compliance with the requirements of this section of the ordinance. |
| 83. II(C)(8)(d) | The following note shall be attached to all drainage plans and signed and sealed by the applicant's Registered Professional Engineer experienced in geotechnical and soil engineering: <i>"I certify that the proposed facility is/is not underlain by limestone."</i> |
| 84. II(D)(20) | Fencing shall be provided around the perimeter of all detention/retention basins capable of holding water to a depth of four feet or more at any point in accordance with the requirements of section 116-31.1(C) of the Whitemarsh Township Zoning Ordinance. |
| 85. II(F)(3)(d) (4)[d] | A detailed soils evaluation of the project site shall be performed to determine the suitability of any infiltration BMPs, if any. The evaluation shall be performed by a Registered Professional Engineer experienced in geotechnical engineering or a Certified Professional Soil Scientist and at a minimum, address soil permeability, depth to bedrock, susceptibility to sinkhole formation, and subgrade stability. A copy of the results of the soils evaluation must be submitted to the Township. |

Any future submission of the design plans for this project must be accompanied by a letter, prepared by the applicant's engineer, which addresses each of the comments contained in this report. Should you have any questions regarding this matter, please do not hesitate to contact me at this office.

Sincerely,



Krista Heinrich, P.E.
Township Engineer
Gilmore & Associates, Inc.

cc: Mr. Charles L. Guttenplan, AICP – Director of Planning and Zoning
Mr. Sean Kilkenny, Esq.; The Law Offices of Sean Kilkenny, LLC – Township Solicitor (*via email*)
Mr. Sean Halbom – Assistant Township Manager
Mr. Robert A. Sztubinski, B.C.O. – Director of Building & Codes (*via email*)
Mr. Nick Weaver – Fire Marshal
Mr. Salvatore Paone, 7111 Sheaff Lane Partners – Owner/Applicant